



Built On What Matters

Town of Frederick Planning Commission Agenda

Frederick Town Hall
401 Locust Street
Thursday, June 26, 2025

6:30 PM

Call to Order – Roll Call

Pledge of Allegiance

Approval of Agenda

Special Presentations

Public Comment

This portion of the agenda is provided to allow members of the audience to provide comments to the Planning Commission. Please sign in and you will be called. If your comments or concerns require an action, that item(s) will need to be placed on a later Agenda. Please limit the time of your comments to three (3) minutes.

Staff Reports

Consent Agenda

Consent Agenda items are considered to be routine and will be enacted by one motion and vote. There will be no separate discussion of Consent Agenda Items unless a Board member so requests, in which case the item may be removed from the Consent Agenda and considered at the end of the Consent Agenda.

- A. Approval of Minutes

Action Agenda

- B. Resolution 25-PCR-06: A Resolution of the Planning Commission
Recommending Approval of the Silverstone Commons Minor Subdivision -
Audem Gonzales, Senior Planner
- C. Resolution 25-PCR-07 A Resolution of the Planning Commission
Recommending Approval of the Wheatlands Preliminary Development Plan
and Preliminary Plat -
Audem Gonzales, Senior Planner

Discussion Items

Commissioner Reports

Other Business

- D. Joint Session with the Board of Trustees- July 8th
Regular Planning Commission Meeting- July 31st -

Adjournment

[MEET_FOOT]



Town of Frederick Planning Commission

Meeting Minutes May 15, 2025

Call to Order – Roll Call: At 6:34 pm Chairperson Moe called the meeting to order and requested roll call.

Present were Chairperson Moe, Vice Chair Conroy, Planning Commissioner Scott, and Planning Commissioner Kelley.

Also present were Ali Van Deutekom, Christine Fransescani, Audem Gonzalez, Justin Ritter, Robert Arnoff, Colby Johnson and Emily Nitcher.

Pledge of Allegiance:

Approval of Agenda:

Special Presentations:

Public Comment:

Staff Reports:

Consent Agenda: Commissioner Kelley wanted to apologize and clarify his motion to the BOT regarding the last meeting.

Motion by Commissioner Kelley and Seconded by Vice Chair Conroy to approve the Consent Agenda.

Upon roll call vote, motion passed unanimously.

Approval of Minutes:

Action Agenda:

Resolution 25-PCR-03 A Resolution for recommendation on amending Article 9, Oil and Gas Drilling and Production: Public Hearing

Commissioner Kelley: Asked for clarification on the sections that were being redlined.

Chairperson Moe: Questioned where the 1,000 ft setback came from?

Vice Chair Conroy asked about an item being redundant in the code.

Commissioner Scott: Asked for clarification on water, referencing ditches.

Motion by Commissioner Scott and seconded by Vice Chair Conroy to approve Resolution 25-PCR-03.

Upon roll call vote, the motion passed unanimously.

Resolution 25-PCR-04 A Resolution for recommendation on amending Article 6 of the Land Use Code regarding Administrative Citations: Public Hearing

Commissioner Scott inquired about the 30-day timeline, and if there is any cause for concern or is that fairly standard practice?

Chairperson Moe had a question about liens and abatement, and if there is something other than the Town that governs that? She also questioned what other municipalities were looked at to come up with this item?

Commissioner Scott asked about the administrative enforcement officer, and if that is a new position or who would that person be, and would it be shared with the code enforcement?

He also asked who the hearing officer would be, and who would enforce a watering restriction?

Commissioner Scott asked about the Court Summons, and if that would still exist?

Commissioner Kelley inquired about 1st Class mail for noticing. Is there another way for people to get their mail, many people have mention that they do not receive mail at their house. He also asked if those are the same penalties as the other places that you looked at.

Vice Chair Conroy asked who is the responsible party? Is that defined? 30 days to clean up is that a discrepancy?

Motion by Commissioner Kelley and seconded by Commissioner Scott to approve Resolution 25-PCR-04.

Upon roll call vote motion passed unanimously.

Resolution 25-PCR-05 A Resolution of the Planning Commission Recommending Approval of The Shores on Plum Creek Filing No 2. Minor Subdivision, The Shores on Plum Creek Filing No. 3 Minor Subdivision, The Shores on Plum Creek Zoning Map Amendment A, The Shores on Plum Creek Preliminary Plat and The Shores on Plum Creek Preliminary Development Plan: Public Hearing

Chairperson Moe asked if the water that they are currently speaking about is part of what we are considering here this evening? Can we please get that clarification?

Commissioner Scott asked is the lake on this property currently privately owned?

Chairperson Moe inquired if this would be Town of Erie Sewer and if there is any other review that will have to happen with this item for the tie into the Erie sewer system?

She also asked about a detention pond for this site, is there a place on this plat that will serve as a detention pond, and at what stage will that need to happen?

Chairperson Moe questioned where the assisted living lined out to happen on the plat?

Vice Chair Conroy asked about the definition of 52.

Commissioner Scott asked about CR 5 in Erie, and if CDOT be using the same accommodations that this project will be getting. He also asked if the Town line run through the middle of 52 there.

Commissioner Scott also had a question about the roads and the traffic associated with schools in the area, and if there were any conversations with the county about improvements to CR 5.

Commissioner Scott asked if there are any flood planes that would impact this development.

Commissioner Kelley asked about CDOT lowering the speed for the roundabouts, ADA access to the pond and public aces for the lake.

Commissioner Scott asked about the depth of the main lake.

At 8:17 pm, the Planning Commission took a 10-minute recess.

At 8:29 pm, the Planning Commission returned to the meeting.

Public Comment:

Chris Kneeves:

- Shared Concerns about traffic.

Greg Shaw:

- Shared Concerns about traffic.

Scott Deemer:

- Shared concern that he may be limited from accessing his property.

Public Comment is closed at 8:38 pm

Commissioner Scott asked if this is approved would the final Plat come to the Planning Commission as well.

Commissioner Kelley Clarified that 52 is not part of the Town's Purview and there is not much that the Planning Commission will be able to influence there.

Commissioner Scott expressed that he hears the concern, and he was not aware of all the development will be going into the same area.

Chairperson Moe asked a question about merge lanes.

Commissioner Scott asked about CDOT plans for 52 to be 4 lanes.

Commissioner Kelley raised some technical questions, and staff will fix these items before the BOT reviews them.

Commissioner Conroy asked some questions about number 3 under the general provisions lot configuration on the preliminary development plan. Pg 7 of the document, lighting references and if they differed from 2.19 of the Land Use Code, and if there is a reason that 2 banned trees are being brought back in.

Vice Chair Conroy mentioned that the company that she works for has had interaction with Mr. File, there is no conflict per counsel and will take part of the decision.

Commissioner Kelley clarified that the water issues are outside the purview of the Commission today and cannot use this for the determination.

Commissioner Scott is concerned about the traffic.

Motion by Commissioner Kelley and seconded by Vice Chair Conroy to approve Resolution 25-PCR-05 and to direct staff to coordinate traffic studies with the surrounding entities.

Upon roll call vote, motion passed unanimously.

Discussion Items:

Commissioner Reports:

Other Business: Upcoming Meetings:

June 26, 2025

July 31, 2025

Combined PC and BOT meeting on July 08, 2025.

Adjournment: There being no further business of the Planning Commission Chairperson Moe adorned the meeting at 9:10pm.



Built On What Matters

Kristie Conroy, Vice
Chairperson

TOWN OF FREDERICK

Planning Commission

Staff Report

Tracy Moe, Chairperson

Nathan Scott,
Commissioner
Roger Kelley,
Commissioner

Resolution 25-PCR-06: A Resolution of the Planning Commission Recommending Approval of the Silverstone Commons Minor Subdivision

Agenda Date: Planning Commission Meeting June 26, 2025

Attachments:

1. PC Resolution 25-PCR-06
2. Land Use Application
3. Vicinity Map
4. Future Land Use Plan
5. Zoning Map
6. Silverstone Commons Minor Subdivision Plat
7. Neighborhood Meeting Minutes
8. Published Notice

Reviewed By: Tricia David, Town Clerk

Action Type

3) Quasi-Judicial: Actions of a specific nature or impact to a property interest that require an evidentiary hearing; such as land use applications; may be approved by ordinance or resolution as applicable.

Strategic Plan Alignment:



COMMUNITY AND ECONOMIC VITALITY– Frederick is a community that fosters economic, recreational, cultural, and environmental vitality and builds upon and enhances a variety of economic opportunities.

Summary Statement:

The applicant is requesting approval of a Minor Subdivision application which proposes creating four commercial lots and one landscape outlot.

Detail of Issue/Request:

Owner: Evergreen-HWY 52 & William Bailey, LLC

Applicant: Zach Lauterbach

Location: The property is generally located at the northwest intersection of William Bailey Avenue and Highway 52.

Zoning: C-H52 (mixed-use highway 52) with PUD overlay (Planned Unit Development)

Surrounding Land Uses and Zoning:

North: Land use - Neighborhood Park within Silverstone

Zoning: R-1 (residential low density) with PUD overlay (Planned Unit Development)

South: Land use - HWY 52 and vacant land in Dacono and Weld County

Zoning: Weld County AG and City of Dacono PUD (Planned Unit Development)

West: Land use - Single-family homes in Silverstone

Zoning: R-1 with PUD overlay

East: Land use - Circle K gas station and undeveloped land

Zoning: C-H52 (mixed-use highway 52) with PUD overlay (Planned Unit Development)

Request:

The applicant is requesting to plat 4 commercial lots as part of the Silverstone Commons Minor Subdivision. The plat also includes a large outlot along HWY 52 that will contain the existing trail along the roadway and future gateway landscaping.

Property History:

- The project area was annexed into the Town of Frederick in 1990 as a part of the Dacono Investment Co. annexation map.
- The property was platted as part of the Miners Village Filing 1 Subdivision Amendment plat in 2010.
- In 2018, the property was re-platted as Lot 1 of the Silverstone Filing 1 subdivision.
- in 2024, the Silverstone Commons Final Development Plan was approved for the site.

Comprehensive Plan:

The Comprehensive Plan shows this area as single-family residential, even though the zoning is commercial. Development pressure in Frederick pushed more commercial along HWY 52 than the Comprehensive Plan envisioned. Even though this application

is not directly aligned with the Comprehensive Plan, it is generally aligned with the idea of commercial hubs along major corridors.

Zoning:

The project is currently zoned C-H52 (mixed-use highway 52) with PUD overlay (Planned Unit Development). The zoning permits commercial lots to be platted by right. There is an existing approved FDP (Final Development Plan) associated with this project that includes commercial development standards. The proposed plat adheres to the commercial lot dimensional standards found in the Land Use Code and approved FDP.

Minor Subdivision:

The minor subdivision plat proposed 4 lots and 1 outlot on 4.6 acres. A private drive is proposed into the project area from William Bailey Avenue. The drive will contain a sidewalk along the southern edge of the roadway. Each lot will gain access from this commercial drive. The outlot along HWY 52 will contain the existing east-west trail along the roadway and the required right-of-way and gateway landscaping.

Utilities:

Town of Frederick water and the Saint Vrain Sanitation District sanitary sewer will serve the project area. Utility easements are proposed to be dedicated on the plat. The sewer district is requiring any easements not being dedicated by plat to be in place before Board of Trustees approval of the plat.

Public Notice:

This project has been required to provide several public notices per Section 4.5 of the Land Use Code. See the list of requirements below:

1. Neighborhood meeting - mailed notice with a 500 ft. buffer
2. Initial application submittal - posted and mailed notice with a 500 ft. buffer
3. Public hearing - posted and mailed notice with a 500 ft. buffer

Attached to this staff report is a summary of the neighborhood meeting held on August 27, 2024. Per the meeting minutes, adjacent property owners raised concerns about the proposed car wash within the project area, specifically, the noise generated by the use. Also, concerns about landscaping along HWY 52 were discussed.

Review Criteria:

Section 4.9.3. Minor Subdivision criteria:

(Note: minor subdivisions require preliminary plat criteria)

1. The subdivision is compatible with and will not have adverse impacts on the surrounding properties.

Staff Response: The minor subdivision is creating 4 commercial lots in an area that is zoned commercial and has an approved final development plan with commercial development standards. Potential adverse impacts were factored into the FDP with appropriate buffers being required when site plan applications come in for review. The

subdivision itself is not out of context with the surrounding neighborhood. Staff sees this area as an extension of Silverstone Marketplace to the east.

2. 10 or fewer new lots or blocks are created.

Staff Response: The project includes a maximum of 4 commercial lots.

3. The preliminary plat provides for a functional system of land use and is consistent with the criteria set forth in this Code.

Staff Response: The plat proposes a very simple and functional configuration of commercial lots.

4. The application is consistent with the approved sketch plan and incorporates the Planning Commission's recommendations and conditions of approval.

Staff Response: Not applicable

5. The land use mix within the project conforms to the Town's zoning district map and furthers the following planning objectives:

Staff Response: The anticipated uses are commercial, which are permitted by right in the C-H52 zone district.

a. The proposed development promotes the Town's small-town, rural character, or implements a Board-approved sub-area, corridor, or urban renewal plan, however titled;

Staff Response: The minor subdivision is around 4.6 acres in size. The anticipated uses are not large-scale commercial big boxes. The lot sizes are aligned with a small-town suburban development framework.

b. Proposed residential development adds diversity to the Town's housing supply;

Staff Response: N/A

c. Proposed commercial development will benefit the Town's economic base;

Staff Response: The plat is to create four commercial lots for businesses that will generate sales tax revenue for the Town as well as provide for more commercial amenities for the residents of Frederick.

d. Parks and open space are incorporated into the site design, as appropriate to the proposed principal use or uses of the land;

Staff Response: N/A

e. The proposed project protects the Town's environmental quality; and

Staff Response: Environmental impacts were reviewed during the original platting of the property. No potential impacts were found at that time.

f. The development enhances cultural, historical, educational and/or human service opportunities.

Staff Response: These opportunities do not exist on this site.

6. The utility and transportation design is adequate, given the existing and planned capacities of those systems.

Staff Response: The subdivision proposes a private driveway into the site that each lot

will gain access from. The drive is located directly across Silverstone Drive to the east.

7. Negative impacts on adjacent land uses have been identified and satisfactorily mitigated.

Staff Response: Staff does not find any potential negative impacts with this proposal. Individual lot site plans will provide adequate landscape and setback buffers between residential uses to the west and the new commercial use within this site.

8. There is a need or desirability within the community for the applicant's development, and the development will help achieve a balance of land use and/or housing types within the Town, according to the Town's goals.

Staff Response: Commercial opportunities are becoming more prevalent within Frederick. The Silverstone Marketplace commercial area is bringing in great excitement and business to the community. Silverstone Commons is an extension of that commercial hub. Retail and other commercial uses are a very desirable amenity to the citizens of Frederick at this time.

Legal Comments:

The Town Attorney's Office reviewed the application materials and has provided comments throughout the review period. All requested changes have been incorporated into the application package.

Alternatives/Options

Approval:

I move to approve 25-PCR-06, which recommends approval of the Silverstone Commons Minor Subdivision application to the Board of Trustees.

Approval with Conditions:

I move to approve 25-PCR-06, which recommends approval of the Silverstone Commons Minor Subdivision application to the Board of Trustees with the following conditions: (list conditions)

Denial:

I move to approve 25-PCR-06, which recommends denial of the Silverstone Commons Minor Subdivision application to the Board of Trustees: (list criteria not met)

Financial Considerations

Not Applicable

Staff Recommendation

Staff is recommending the Planning Commission recommend approval of the Silverstone Commons Minor Subdivision application to the Board of Trustees.

Community Impact

25-PCR-06

A Resolution of the Planning Commission Recommending Approval of the Silverstone Commons Minor Subdivision

Be it resolved by the Planning Commission of the Town of Frederick, Colorado:

- Section 1. The Frederick Planning Commission finds that:
- 1.1 An application for the Silverstone Commons Minor Subdivision has been submitted.
 - 1.2 Said application was found to be complete through the review process.
 - 1.3 Said application was considered during a public hearing held June 26th, 2025 at which time the public was able to provide testimony.
 - 1.4 Sufficient notice was given according to Section 4.5 of the Frederick Land Use Code.
 - 1.5 The Silverstone Commons Minor Subdivision application conforms with the applicable requirements of Section 4.9.3. of the Frederick Land Use Code, namely:
 - 1.5.1 The subdivision is compatible with and will not have adverse impacts on the surrounding properties.
 - 1.5.2 10 or fewer new lots or blocks are created.
 - 1.5.3 The preliminary plat provides for a functional system of land use and is consistent with the criteria set forth in this Code.
 - 1.5.4 The land use mix within the project conforms to the Town's zoning district map and furthers the following planning objectives:
 - 1.5.4.1 The proposed development promotes the Town's small-town, rural character, or implements a Board-approved sub-area, corridor, or urban renewal plan, however titled;
 - 1.5.4.2 Proposed commercial development will benefit the Town's economic base;
 - 1.5.4.3 Parks and open space are incorporated into the site design, as appropriate to the proposed principal use or uses of the land;
 - 1.5.4.4 The proposed project protects the Town's environmental quality; and
 - 1.5.4.5 The development enhances cultural, historical, educational and/or human service opportunities.
 - 1.5.5 The utility and transportation design is adequate, given existing and planned capacities of those systems.

- 1.5.6 Negative impacts on adjacent land uses have been identified and satisfactorily mitigated.
- 1.5.7 There is a need or desirability within the community for the applicant's development, and the development will help achieve a balance of land use and/or housing types within the Town, according to the Town's goals.

Section 2. The Planning Commission recommendation is based on competent, substantial evidence in the written record and the testimony provided at the public hearing.

Section 3. On the basis of the above, the Town of Frederick Planning Commission recommends that the Board of Trustees approve the Silverstone Commons Minor Subdivision application with no conditions.

This resolution approved this 26th day of June, 2025 by a vote of ____ to ____.

Tracy Moe, Chairperson, Planning Commission



TOWN OF FREDERICK

PLANNING DEPARTMENT

401 LOCUST STREET • P.O. BOX 435 • FREDERICK, CO 80530-0435

PHONE: (720) 382-5500 • FAX: (720) 382-5520

Built On What Matters

www.frederickco.gov

LAND USE APPLICATION FORM

PROJECT NAME: Silverstone Commons

DATE SUBMITTED: August 02, 2024

APPLICATION FEE: TBD

TYPE OF APPLICATION:

- | | | |
|---|---|--|
| ☐ Annexation, Zoning and Concept Plan | ☐ Minor Modification | ☐ Subdivision Amendment |
| ☐ Annexation Agreement Amendment | ☐ Minor Subdivision Replat | ☐ Temporary Use |
| ☐ Appeal of Administrative Decision | ☐ Oil and Gas Drilling | ☐ Vacation of ROW or Easement |
| ☐ Code Text/Comprehensive Plan Amendment/
Planning Area Amendment | ☐ Preliminary Development Plan | ☐ Variance/Waiver |
| ☐ Conditional Use Review | ☒ Preliminary Plat | ☐ Vesting Property Rights |
| ☐ Conditional Use Site Plan | ☐ Sign Design Program | ☐ Zoning Compliance Letter |
| ☐ Final Development Plan | ☒ Site Plan | ☐ Zoning Map Amendment |
| ☒ Final Plat | ☐ Site Plan Amendment | ☐ Written Interpretation |
| ☐ Metropolitan District | ☐ Sketch Plan | ☐ Other |
| | ☐ Street Name Change | |

PROJECT INFORMATION:

Legal Description of Property (location within township, section, and range or Subdivision, Block and Lot):
LOT 1, BLOCK 8, SILVERSTONE FILING NO.1

Applicant's Name (This will be the primary contact):
Zach Lauterbach

Phone/Fax: 602-567-7125

Address: 2390 East Camelback Road, Suite 410, Phoenix, AZ 85016

Relation to Property Owner: Owner

E-mail Address: zlauterbach@evgre.com

ADDITIONAL CONTACTS:

Property Owner: Evergreen-Hwy 52 & William Bailey, L.L.C.

Consultant Business Name: Galloway & Company

Consultant Personal Contact: Aaron Johnston

Address: 2390 E Camelback, Suite 410
Phoenix, AZ 85016

Address: 5500 Greenwood Plaza Blvd., Suite 200 Greenwood
Village, CO 80111

Phone/Fax: 602.567.7125

Phone/Fax: 303-770-8884



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PLANNING DEPARTMENT

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PHONE: (720) 382-5500 • FAX: (720) 382-5520

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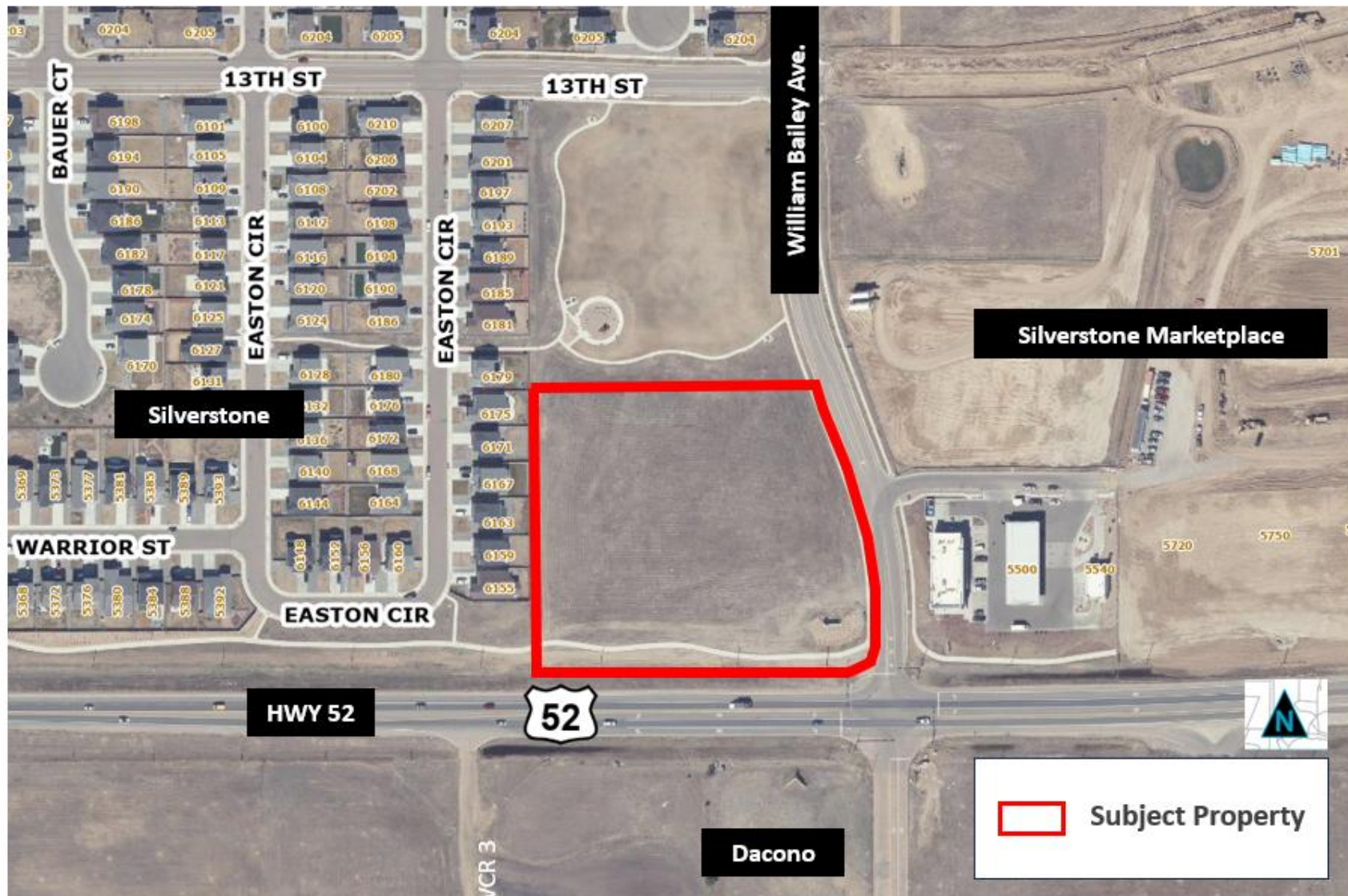
Built On What Matters

E-mail Address: zlauterbach@evgre.com	E-mail Address: aaronjohnston@gallowayus.com
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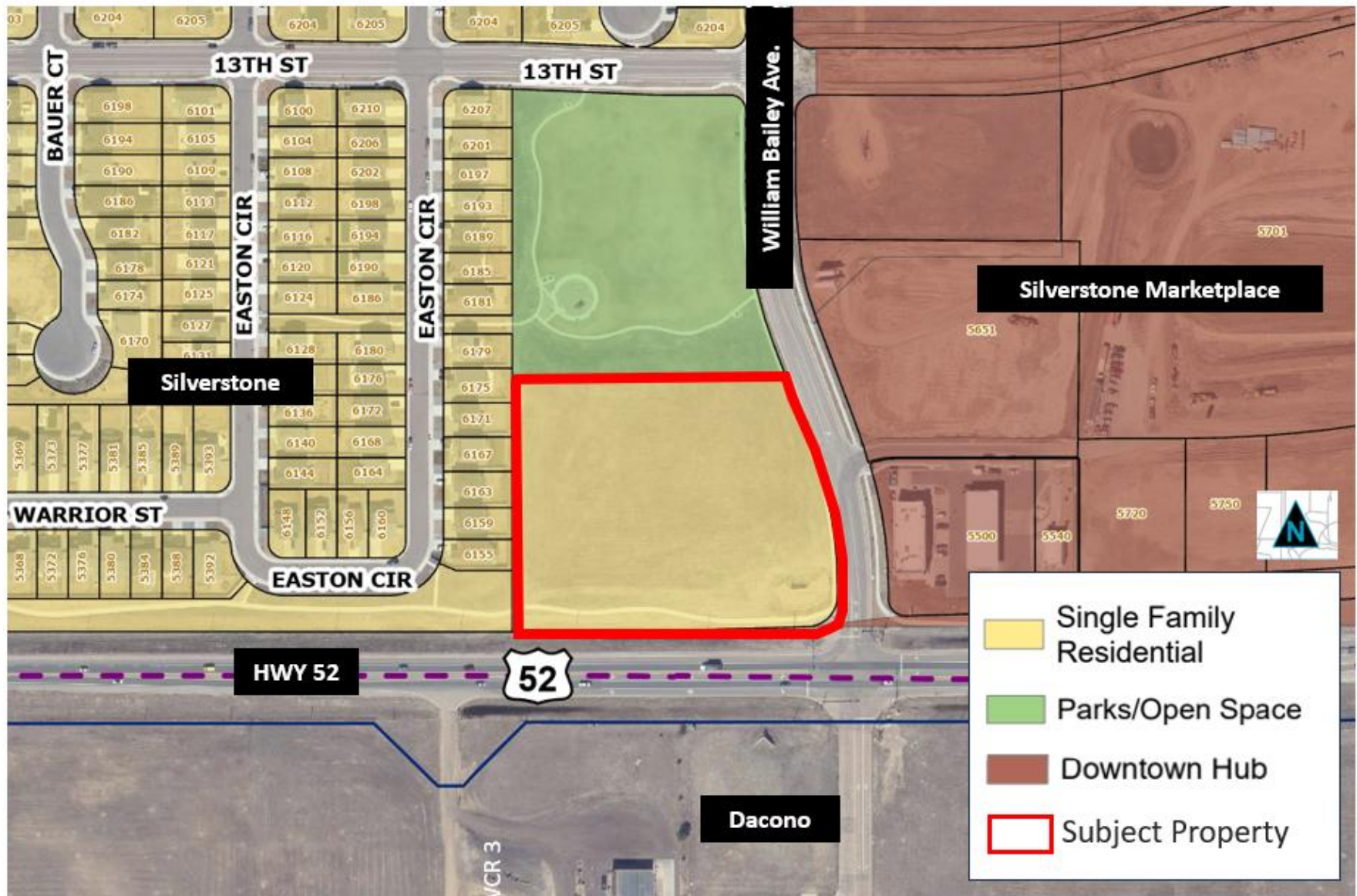
LAND USE APPLICATION FORM (CONTINUED)

Property Owner: Evergreen-Hwy 52 & William Bailey, L.L.C.		Consultant Business Name: Galloway & Company Consultant Personal Contact: Aaron Johnston	
Address: 2390 E Camelback, Suite 410 Phoenix, AZ 85016		Address: 5500 Greenwood Plaza Blvd., Suite 200, Greenwood Village, CO 80111	
Phone/Fax: 602.567.7125		Phone/Fax: 303-770-8884	
E-mail Address: zlauterbach@evgre.com		E-mail Address: aaronjohnston@gallowayus.com	
TOTAL ACREAGE OF PROPERTY UNDER CONSIDERATION: 4.579 acres			
Is site within Frederick Planning Area?		☒ Yes	☐ No
Project Address (if applicable): NW Corner of Hwy 52 & William Bailey Ave			
Existing Use: Vacant		Existing Zoning: Mixed Use Hwy 52 (C-H52) w/ PUD Overlay	
Proposed Use: Commercial		Proposed Zoning: Mixed Use Hwy 52 (C-H52) w/ PUD Overlay	
Number of Existing Residential Lots: 0		Number of Proposed Residential Lots: 0	
Number of Existing Commercial Lots: 1		Number of Proposed Commercial Lots: 4	
Number of Existing Industrial Lots: 0		Number of Proposed Industrial Lots: 0	
Is there an existing MOAPI in place? ☒ Yes ☐ No If yes, please provide reception date and number. Silverstone Per-Development Memorandum of Agreement for Public Improvements			
COMPREHENSIVE PLAN MAP DESIGNATIONS:			
LAND USE & PUBLIC FACILITIES Land Use Designation(s): C-H52 Public Facilities: None		UTILITY AND SPECIAL DISTRICTS Water: Town of Frederick Sewer: St. Vrain Sanitation District Fire Protection: Frederick Firestone Fire Other:	
TRANSPORTATION William Bailey Ave, Hwy 52 Street Connections:		ENVIRONMENTAL ISSUES Property in Floodplain: ☐ Yes ☒ No Sensitive Wildlife habitat area: ☐ Yes ☒ No	
PARKS, OPEN SPACE AND RECREATION Proposed park and/or trail: A trail exists along the north side of Highway 52		SUBSIDENCE AND OIL AND GAS Subsidence area: ☐ Yes ☒ No Oil and/or gas wells: ☐ Yes ☒ No	
CERTIFICATION:			
I certify that I am the lawful owner of the parcel(s) of land which this application concerns and consent to this action.			
DocuSigned by:  Owner: <u>DD10712EAM474DB...</u>		Date: <u>August 01, 2024</u>	
I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. In filing this application, I am acting with the knowledge and consent of the property owners. I understand that all materials and fees required by the Town of Frederick must be submitted prior to having this application processed.			
Applicant: 		Date: <u>10/30/2024</u>	

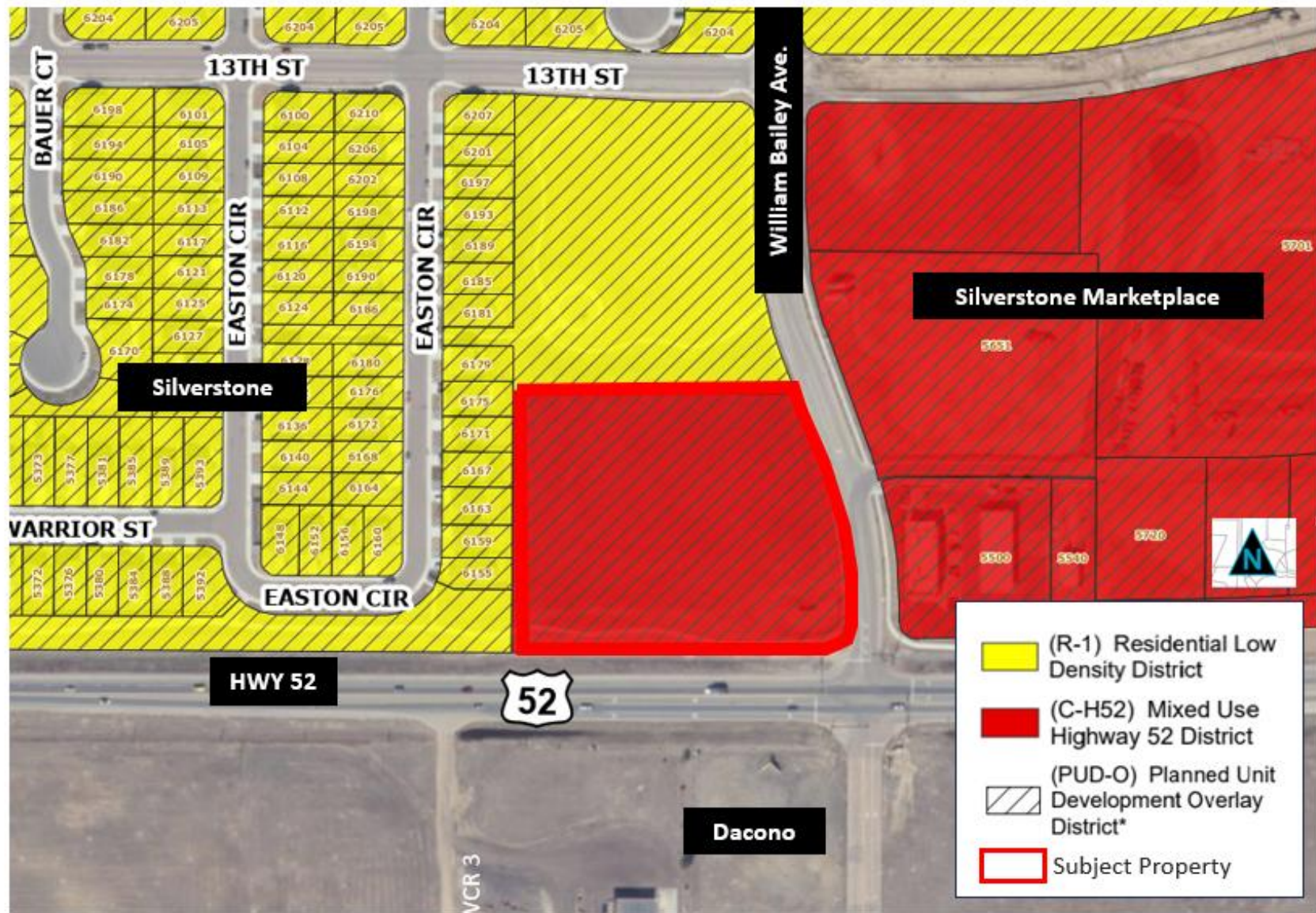
Vicinity Map



Future Land Use Plan



Zoning Map

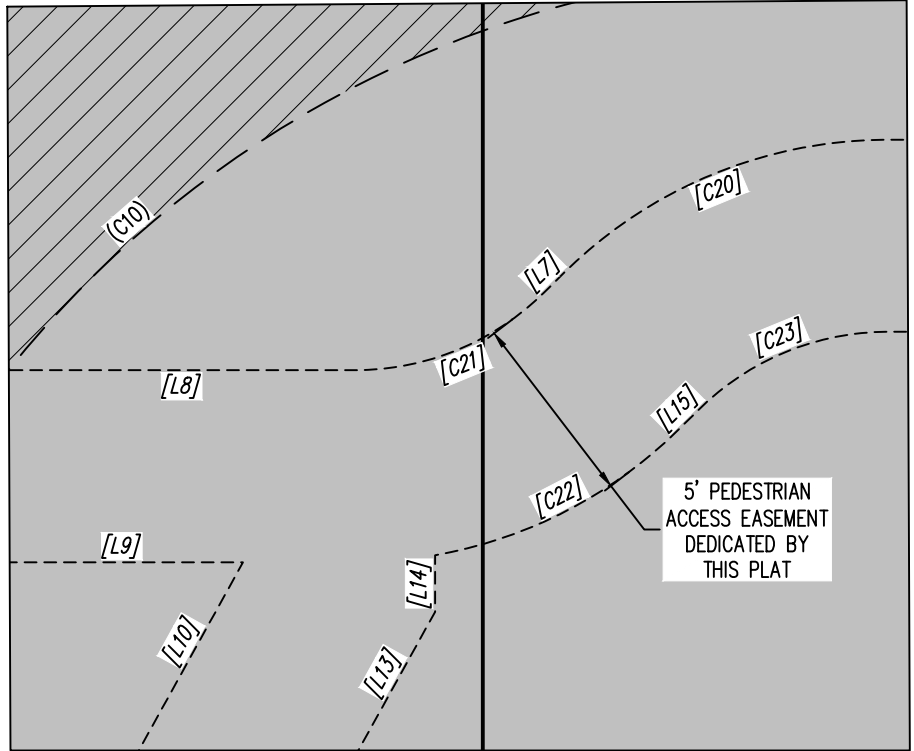
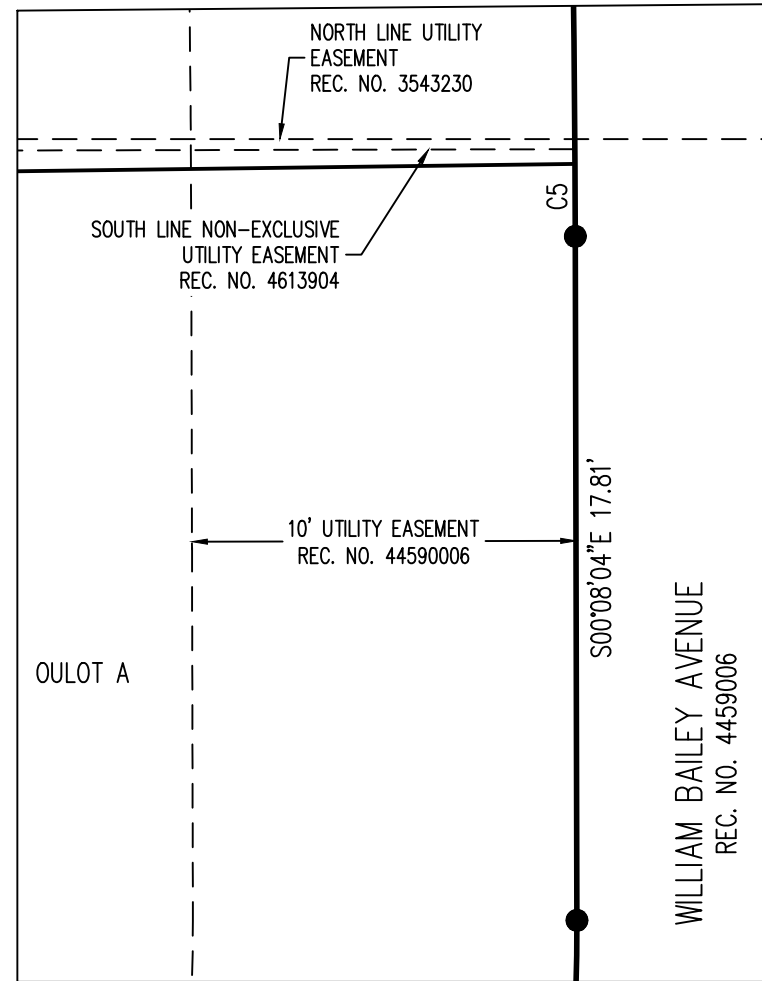
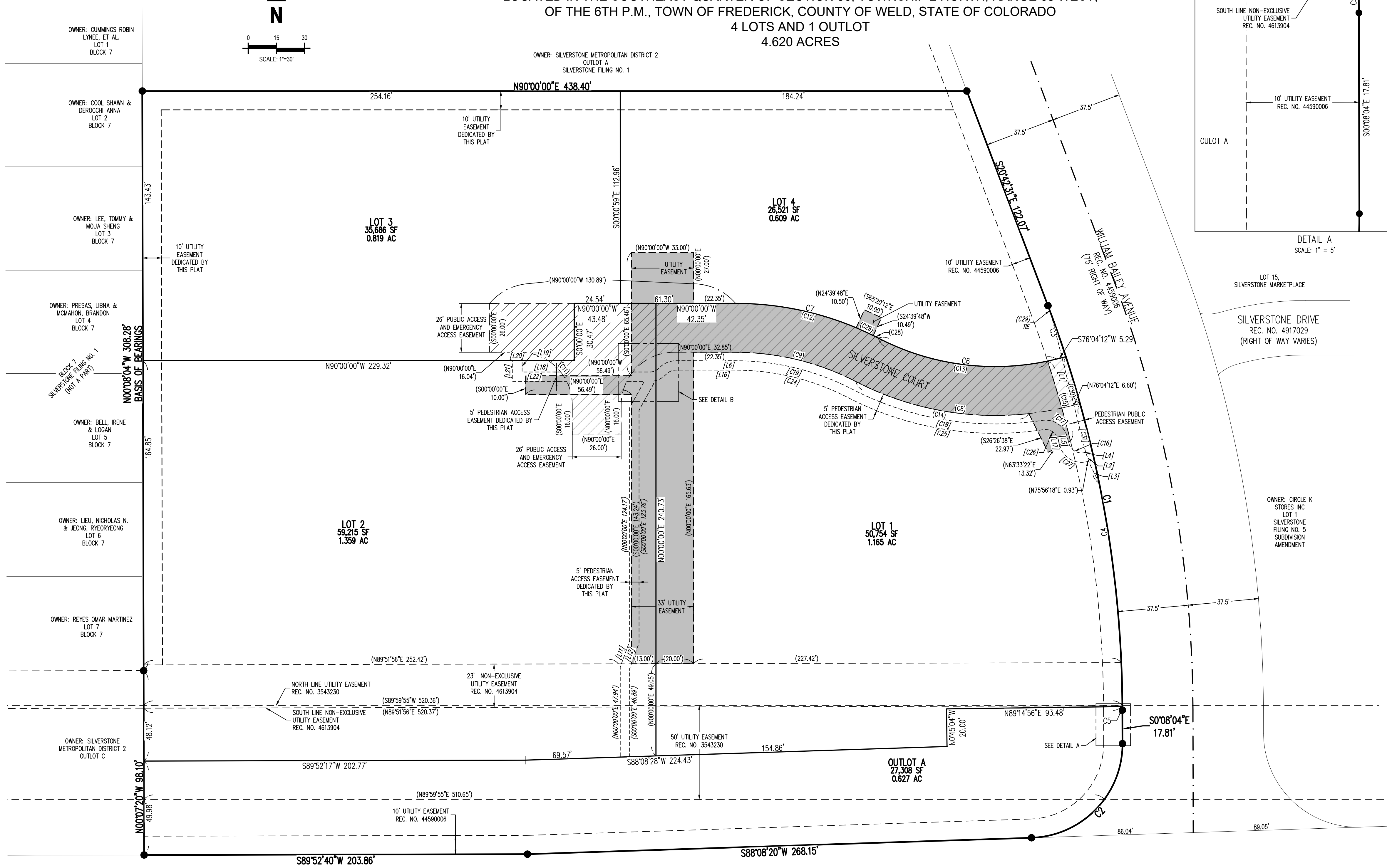
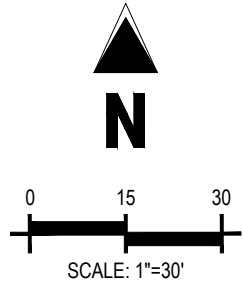


A REPLAT OF LOT 1, BLOCK 8, SILVERSTONE FILING NO. 1
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 2 NORTH, RANGE 68 WEST,
OF THE 6TH P.M., TOWN OF FREDERICK, COUNTY OF WELD, STATE OF COLORADO
4 LOTS AND 1 OUTLOT
4.620 ACRES

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SILVERSTONE COMMONS MINOR SUBDIVISION

A REPLAT OF LOT 1, BLOCK 8, SILVERSTONE FILING NO. 1
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 2 NORTH, RANGE 68 WEST,
OF THE 6TH P.M., TOWN OF FREDERICK, COUNTY OF WELD, STATE OF COLORADO
4 LOTS AND 1 OUTLOT
4.620 ACRES



LEGEND	
●	FOUND 24" NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "PLS 37911"
REC. NO.	RECEPTION NUMBER
(DIM)	ACCESS, UTILITY EASEMENT DIMENSIONS ARE IN PARENTHESIS
[DIM]	PEDESTRIAN ACCESS EASEMENT DIMENSIONS ARE IN BRACKETS
—	PROPERTY LINE
—	LOT LINE
—	ADJACENT LOT LINE
- - -	EASEMENT
■	UTILITY EASEMENT DEDICATED BY THIS PLAT
▨	PUBLIC ACCESS AND EMERGENCY ACCESS EASEMENT DEDICATED BY THIS PLAT

LOT CURVE TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C1	20°34'27"	219.94	612.50	S10°25'17"E	218.76
C2	88°16'40"	77.04	50.00	S44°00'08"W	69.64
C3	02°41'32"	28.78	612.50	S19°21'44"E	28.78
C4	17°42'19"	189.27	612.50	S8°09'49"E	188.52
C5	00°10'35"	1.89	612.50	S0°13'17"E	1.89
C6	41°18'46"	97.34	135.00	N8°16'25"W	95.25
C7	27°22'58"	78.86	165.00	N76°18'31"W	78.11

UTILITY EASEMENT CURVE TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
(C8)	41°18'46"	116.09	161.00	S8°16'25"E	113.59
(C9)	27°22'58"	66.43	139.00	S76°18'31"E	65.80
(C10)	90°00'00"	43.98	28.00	N45°00'00"E	39.60
(C11)	90°00'00"	43.98	28.00	S45°00'00"E	39.60
(C12)	27°22'58"	78.86	165.00	N76°18'31"W	78.11
(C13)	39°17'58"	92.80	135.00	N8°16'06"W	90.79
(C14)	33°46'15"	94.90	161.00	S79°30'10"E	93.53
(C15)	47°2'35"	44.27	602.50	N15°58'14"W	44.28
(C28)	10°3'01"	3.02	165.00	N63°08'29"W	3.02
(C29)	3°28'23"	10.00	165.00	N65°24'11"W	10.00
(C30)	2°28'08"	26.03	612.48	S16°47'54"E	26.03

PEDESTRIAN ACCESS EASEMENT CURVE TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
[C16]	90°00'00"	11.00	7.00	N59°03'42"W	9.90
[C17]	84°36'14"	17.72	12.00	N56°21'49"W	16.15
[C18]	36°02'53"	104.13	165.50	N80°38'29"W	102.42
[C19]	27°22'58"	64.28	134.50	N76°18'31"W	63.67
[C20]	44°43'19"	9.37	12.00	S67°38'21"W	9.13
[C21]	44°43'19"	5.46	7.00	S67°38'21"W	5.33
[C22]	34°43'35"	7.27	12.00	N62°38'29"E	7.16
[C23]	44°43'19"	5.46	7.00	N67°38'21"E	5.33
[C24]	27°22'58"	61.89	129.50	S76°18'31"E	61.30
[C25]	36°02'53"	107.27	170.50	S80°38'29"E	105.51
[C26]	84°36'14"	10.34	7.00	S56°21'49"E	9.42
[C27]	90°00'00"	18.85	12.00	S59°03'42"E	16.97
[C31]	4°04'28"	43.55	612.48	S13°32'36"E	43.54

PEDESTRIAN ACCESS EASEMENT LINE TABLE		
LINE TAG #	BEARING	LENGTH (FT)
[L1]	S14°03'42"E	76.04
[L2]	S18°41'40"E	6.30
[L3]	S26°25'47"E	11.62
[L4]	S75°56'18"W	0.53
[L5]	N14°03'42"W	3.17
[L6]	N80°00'00"W	31.80
[L7]	S45°16'41"W	0.71
[L8]	N80°00'00"W	9.03
[L9]	N90°00'00"W	9.31
[L10]	N28°58'34"E	16.00
[L11]	N20°00'00"E	14.62

PEDESTRIAN ACCESS EASEMENT LINE TABLE		
LINE TAG #	BEARING	LENGTH (FT)
[L12]	S20°00'00"W	14.62
[L13]	N28°58'34"E	16.00
[L14]	N0°00'00"E	1.47
[L15]	N45°16'41"E	0.71
[L16]	N90°00'00"E	31.80
[L17]	S14°03'42"E	3.17
[L18]	N90°00'00"W	20.54
[L19]	N0°00'00"E	6.03
[L20]	N90°00'00"W	5.00
[L21]	S0°00'00"E	11.03
[L22]	N90°00'00"E	28.74

Galloway

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Johnstown, CO 80534
970.800.3300
gallowayus.com

DRAFT

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**SILVERSTONE COMMONS MINOR
SUBDIVISION**
A REPLAT OF LOT 1, BLOCK 8, SILVERSTONE FILING NO. 1
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 36,
TOWNSHIP 2 NORTH, RANGE 68 WEST,
OF THE 6TH P.M., TOWN OF FREDERICK, COUNTY OF
WELD, STATE OF COLORADO

#	Date	Issue / Description	Init.
1	6/28/2024	ADDRESSED TOWN COMMENTS	AN
2	2/22/2025	ADDRESSED TOWN COMMENTS	AN
3	5/22/2025	ADDRESSED TOWN COMMENTS	AN
4	5/28/2025	ADDRESSED COMMENTS	ACS
5			
6			
7			
8			
9			
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17			
18			
19			
20			

Project No: EDI0000086.10
Drawn By: AN
Checked By: RCR
Date: 6/25/2024

October 25, 2024

RE: Silverstone Commons Neighborhood Meeting (8/27/24)

Attendees:

Applicants:

- Evergreen (Zach Lauterbach)
- Galloway (Mike Kracov, Tasha Bolivar, Aaron Johnston, Stephen Orehosky)
- Mister Carwash Development Team and Developing Partners
- Brakes Plus Development Team

Public:

- Jon Lee
- Libna Presas
- Nicholas Lieu
- Brandon McMahon
- Concerned Citizen (name not provided)

Meeting Notes/Questions:

- (BM) Noise concerns with carwash
 - Trees/screening requirements and coordination with the town to avoid negatively affecting adjacent home owners.
 - Pushing the tunnel as far away from the adjacent properties as possible.
 - Keeping the vacuums and trash enclosure as far away from adjacent properties as possible.
 - Decibel coordination.
 - *Each of these topics was discussed at length and remedies provided including but not limited to shifting on site features as far from the adjacent residential properties as possible, and also limiting business hours.*
- (JL) Landscaping concerns and making sure there is plenty of buffer from SH52 since this is the 'entry to the town'
 - *Discussion regarding the landscape buffer between the property and SH52 was heavily discussed.*
- (LP) Concerned with listening to the carwash in the middle of the day while working from home and worried about trees losing leaves in the winter and no longer providing cover.
 - *A high percentage of trees are required to be evergreen which will provide cover to the best of their ability.*
- Discussion about allowing for more opportunity to provide public comment in the future, but that the current application is and will be built to meet code requirements.



NOTICE OF PUBLIC HEARING
PLANNING COMMISSION
TOWN OF FREDERICK

NOTICE IS HEREBY GIVEN that the Planning Commission will hold a PUBLIC HEARING commencing on Thursday, June 26th at 6:30 pm. This meeting will be held both in person and virtually (please see <https://www.frederickco.gov/1100/Agenda-Portal> to access the published agenda and link to the meeting's live stream). No public comment can be received via the live stream. The public hearing will be held upon application made by Zach Lauterbach, Evergreen Devco Inc., 2390 East Camelback Road, Suite 410, Phoenix, AZ, 85016; for the purpose of considering the Silverstone Commons Minor Subdivision land use application pursuant to the Codes of the Town of Frederick and applicable State statutes.

The affected property is generally located northwest of the William Bailey Avenue and Highway 52 intersection.

The legal description of the property is: "Located in the Southeast Quarter of Section 36, Township 2 North, Range 68 West of the 6th Principal Meridian, Town of Frederick, County of Weld, State of Colorado"

Interested and affected parties are encouraged to attend. The Planning Commission will be taking written comments submitted prior to the hearing. Comments submitted prior to 5:00PM on the hearing date listed above will be forwarded with the staff report. During a public hearing, public input can be received.

Copies of the full application and supporting materials are available for the public to review. Please contact Project Planner, Audem Gonzales, at agonzales@frederickco.gov to receive instructions on how to access the materials.

Dated this 6th day of June, 2025

TOWN OF FREDERICK, COLORADO

By: _____
Tricia David, Town Clerk

Published: Longmont Times Call June 11, 2025-2118623

Prairie Mountain Media, LLC

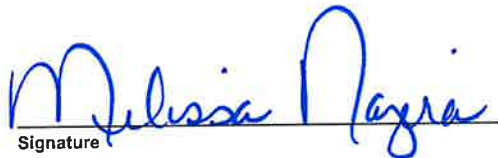
PUBLISHER'S AFFIDAVIT

County of Boulder
State of Colorado

The undersigned, Agent, being first duly sworn under oath, states and affirms as follows:

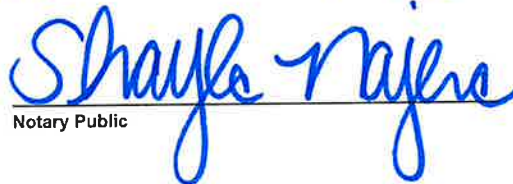
1. He/she is the legal Advertising Reviewer of Prairie Mountain Media LLC, publisher of the *Longmont Times Call*.
2. The *Longmont Times Call* is a newspaper of general circulation that has been published continuously and without interruption for at least fifty-two weeks in Boulder County and meets the legal requisites for a legal newspaper under Colo. Rev. Stat. 24-70-103.
3. The notice that is attached hereto is a true copy, published in the *Longmont Times Call* in Boulder County on the following date(s):

Jun 11, 2025


Signature

Subscribed and sworn to me before me this

11th day of June, 2025


Notary Public

(SEAL)

SHAYLA NAJERA
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20174031965
MY COMMISSION EXPIRES July 31, 2025

Account: 1051151
Ad Number: 2118623
Fee: \$43.50



Built On What Matters

TOWN OF FREDERICK

Planning Commission

Staff Report

Tracy Moe, Chairperson

Kristie Conroy, Vice
Chairperson

Nathan Scott,
Commissioner
Roger Kelley,
Commissioner

Resolution 25-PCR-07 A Resolution of the Planning Commission Recommending Approval of the Wheatlands Preliminary Development Plan and Preliminary Plat

Agenda Date: Planning Commission Meeting June 26, 2025

Attachments:

1. PC Resolution 25-PCR-07
2. Application and Letter of Intent
3. Vicinity Map
4. Future Land Use Plan
5. Zoning Map
6. Wheatlands Preliminary Development Plan
7. Wheatlands Preliminary Plat
8. Neighborhood Meeting Minutes
9. Published Notice

Reviewed By: Tricia David, Town Clerk

Action Type

3) Quasi-Judicial: Actions of a specific nature or impact to a property interest that require an evidentiary hearing; such as land use applications; may be approved by ordinance or resolution as applicable.

Strategic Plan Alignment:



COMMUNITY AND ECONOMIC VITALITY– Frederick is a community that fosters economic, recreational, cultural, and environmental vitality and builds upon and enhances a variety of economic opportunities.

Summary Statement:

The applicant is requesting approval for a Preliminary Development Plan and Preliminary Plat. The Wheatlands residential master planned community proposes 538 residential units (317 single-family detached homes and 221 townhomes). The project area is approximately 124 acres in size.

Detail of Issue/Request:

Owner: Wheatly LLC, 4436 County Road 154, Elizabeth, CO 80107

Applicant: Kristin Turner - TB Group

Location: The property is generally located southwest of the Weld County Road 16 and Weld County Road 17 intersection.

Zoning: R-1 (low-density residential) with PUD Overlay (Planned Unit Development)

Surrounding Land Uses and Zoning:

North: Land use - Single-family homes, agricultural, and vacant land
Zoning: Weld County AG-Agricultural

South: Land use - Vacant land (future Columbine Heights single-family home subdivision, currently under review)
Zoning: R-1 (low density residential) and PUD Overlay (Planned Unit Development)

West: Land use - Vacant land, but final platted as the Prosperity subdivision
Zoning: Weld County AG-Agricultural and R-1 (low density residential)

East: Land use - Single-family home, water tanks, and undeveloped land
Zoning: Weld County AG-Agricultural

Request:

The applicant is requesting approval of two land use applications, the Wheatlands Preliminary Development Plan and Wheatlands Preliminary Plat.

Preliminary Development Plan – The applicant has chosen to modify several land use code provisions, which is typical of large subdivisions. The project area is already zoned with the PUD overlay, but does not contain a development plan. The proposed preliminary development plan includes development-specific standards such as lot dimensional standards, density, uses, trails and open space, fencing, etc. The Preliminary Development Plan proposes up to 538 residential units (317 single-family detached homes and 221 townhomes). The PDP includes a use provision to allow Townhomes in the R-1 zone district. The Brunemeier Annexation Agreement from 2015 contains a special provision permitting up to 15 acres of townhome development within this project area.

Preliminary Plat – The applicant is proposing to plat 101 lots and 19 outlots. All lots are geared towards single-family detached homes. A few of the outlots are geared towards future platting for townhomes. All future Final Plats will be required to follow the approved Preliminary Plat.

Property History:

- The project area was annexed into the Town of Frederick in 2015 via the Brunemeier Annexation.
- The annexation agreement permits up to 15 acres of townhome development.
- The property was formerly used for agricultural purposes and oil and gas production.
- The property was initially zoned to R-1 with PUD overlay at the time of annexation.
- The project area is currently undeveloped.

Comprehensive Plan:

The Comprehensive Plan shows a mixture of future land uses for this area. The majority of the site is shown as “Single Family Residential”. About 1/3 of the property is shown with the “Adaptable Neighborhood” land use designation. The applicant is proposing mostly single-family homes with a small area on the southern portion of the site slated for future townhomes. Staff finds the proposed uses align with the future land use designations for this property.

Zoning:

The project area is entirely zoned R-1 (low density residential) with PUD overlay (Planned Unit Development). There is no existing development plan associated with the current PUD zoning. The applicant is proposing a PDP (Preliminary Development Plan) with this application package. The R-1 zone district permits single-family homes by right, while the proposed PDP proposes to permit townhomes in a specific planning area within the Wheatlands community. The R-1 zone district allows up to 5 units per acre.

Preliminary Development Plan:

The PDP (Preliminary Development Plan) is a function of the PUD overlay zoning. The PUD was approved at the time of annexation in 2015, but did not contain any modified code provisions to govern the site. The applicant for Wheatlands has proposed a PDP to govern the proposed subdivision. Highlights from the PDP are below:

- Five distinct PAs (Planning Areas) are proposed; 3 PAs for single-family residential, 1 PA for townhomes and 1 PA for a neighborhood park.
- One neighborhood park and 3 pocket parks are proposed.
- Multiple community trails are proposed (one is a major trail around the west and north side of the subdivision).
- Dimensional standards for lots are included in the PDP (including modified setbacks for single-family and townhome lots).
- Fencing requirements are also included in the PDP.

Oil and Gas:

There are five plugged and abandoned oil and gas facilities across the project area. Each facility is required to be properly surveyed and located on any future final plat. No residential lot is proposed within any of the setbacks associated with these facilities.

Note: the setbacks shown on the Preliminary Plat are the setbacks from the Land Use Code at the time of application in 2022. The oil and gas setbacks have been updated in the Land Use Code from the date of submittal; this application is not subject to the new regulations.

Utilities:

The Wheatlands subdivision is proposed to be served by Town of Frederick for water and Saint Vrain Sanitation District for sanitary sewer. Final infrastructure design and approvals will come at the time of the final plat. Any main lines outside right-of-way are shown in utility easements on the preliminary plat.

Streets and Access:

The project proposes main access points into the subdivision from Wheatlands Boulevard (WCR 17), via Lyden Creek Boulevard from the west, and from multiple street connections from the south (Columbine Heights subdivision currently under review). The Prosperity subdivision to the west contains right-of-way for Lyden Creek Boulevard, but the street is not constructed at this time. The Columbine Heights subdivision to the south contains the main north/south collector street that ties into HWY 52, but the street is also not constructed at this time.

Any future final plat will require Wheatlands to provide adequate access to the site. This will require building out streets and acquiring off-site right-of-way if necessary. Columbine Heights to the south is currently under review with the Town. Road improvements to WCR17 will need to be negotiated between the projects. No final plat will be approved until these agreements are signed, and each filing is deemed to be functional with proper access.

Ditches:

The Stanley Ditch runs along the north and west property lines of the proposed subdivision. Lyden Boulevard will require a ditch crossing to the west. All future agreements are required to be submitted and approved by the time of final plat approval. Ribbon Grass Boulevard is shown on the plat to terminate at the ditch on the north property line. Future development north of the ditch will be required to connect to Wheatlands at this location.

Public Notice:

This project has been required to provide several public notices per Section 4.5 of the Land Use Code. See the list of requirements below:

1. Neighborhood meeting - mailed notice with a 1,000 ft. buffer
2. Initial application submittal - posted and mailed notice with a 1,000 ft. buffer
3. Public hearing - posted and mailed notice with a 1,000 ft. buffer

Attached to this staff report is a summary of the neighborhood meeting held on October 12, 2021. Per the meeting minutes, there was a question from the public about right-of-way improvements only.

Review Criteria:

There are two separate land-use items associated with the Wheatlands master planned community. Each item has a specific set of approval criteria. See below:

Section 4.7.5.e. Preliminary Development Plan criteria:

1. The proposed benefits offset the proposed exceptions to the zoning and subdivision standards, and such exceptions are in the best interest of the public health, safety, and welfare of the community.

Staff Response: The proposed modifications to the development standards do not deviate much from the standard Code. The modifications result in a subdivision that is typical of what has been developed in Frederick.

2. The proposed development plan does not conflict with the restrictions on development plans, and the proposed zoning is compatible with the surrounding land uses.

Staff Response: The zoning changes are complimentary to surrounding properties and are aligned with current zoning and land uses.

3. The development plan proposes creative and innovative design and high-quality development, thereby protecting and promoting public safety, convenience, health, and general welfare.

Staff Response: The PDP promotes a more compact development with better-connected parks and open spaces. Better pedestrian connectivity and access to parks and open spaces is a great benefit to existing and future residents of Frederick.

4. The uses and densities in the proposed development plan are compatible, and will be effectively integrated with adjacent neighborhoods, which now exist or are proposed in the future.

Staff Response: The proposed densities and locations are aligned with the Comprehensive Plan update and previous versions. Staff does not see a conflict with adjacent neighborhoods. The overall community has a maximum density of no more than 5 units per acre, per the base zone district. This is similar to Prosperity to the west and Columbine Heights to the south.

5. The proposed development plan is in general conformance with the Comprehensive Plan.

Staff Response: Staff finds the PDP generally conforms to the Comprehensive Plan. The majority of the site is designated as low-density single-family residential with some adaptive neighborhood. The applicant is proposing mostly single-family detached homes with an area for future townhomes.

Section 4.7.4.b. Preliminary Plat criteria:

1. The preliminary plat provides for a functional system of land use and is consistent with the criteria set forth in this Code.

Staff Response: The preliminary plat provides for single-family residential lots and a future area for townhomes. The layout of the subdivision functions adequately in regards to transportation and pedestrian connectivity.

2. The applicant is consistent with the approved sketch plan and incorporates the Planning Commission's recommendations and conditions of approval.

Staff Response: N/A

3. The land use mix within the project conforms to the Town's zoning district map and furthers the following planning objectives:

Staff Response: The proposed subdivision conforms with the underlying zoning district and furthers the objectives of the Comprehensive Plan with mostly single-family homes at this location.

a. The proposed development promotes the Town's small-town, rural character, or implements a Board-approved sub-area, corridor, or urban renewal plan, however titled;

Staff Response: The proposed plat aligns with the Comprehensive Plan and generally with the current zoning map. The east side of Frederick is less dense than other areas within the Town. This subdivision promotes a small-town development fabric.

b. Proposed residential development adds diversity to the Town's housing supply;

Staff Response: Slightly smaller lots and the potential for townhomes adds variety within Frederick. Townhomes are a great complimentary product type to smaller lot single-family homes.

c. Proposed commercial development will benefit the Town's economic base;

Staff Response: N/A

d. Parks and open space are incorporated into the site design, as appropriate to the proposed principal use or uses of the land;

Staff Response: There is one large neighborhood park and multiple pocket parks proposed within Wheatlands. The spacing between these parks is adequate and ensures property coverage to all future homes within the community. The trail corridor within the open space surrounding two sides of the subdivision enhances the livability of this area and promotes outdoor activities.

e. The proposed project protects the Town's environmental quality; and

Staff Response: The existing ditch along the north and west sides of the subdivision is buffered with proposed open space. Ditch crossings are also limited to maintain the integrity of the ditch.

f. The development enhances cultural, historical, educational and/or human service opportunities.

Staff Response: Staff has not identified cultural, historical or educational components to be protected within this subdivision. The project includes focusing on parks and open space and enhancing pedestrian connectivity.

4. The utility and transportation design is adequate, given the existing and planned capacities of those systems.

Staff Response: Water, sewer and transportation reviewing entities have not identified any issues with capacity or levels of service at this stage in the development. Future final platting will require proper transportation connections, especially upgrading WCR17. These improvements will be required for both Wheatlands and Columbine Heights.

5. Negative impacts on adjacent land uses have been identified and satisfactorily mitigated.

Staff Response: Staff has not identified any potential negative impacts to adjacent land uses.

6. There is a need or desirability within the community for the applicant's development, and the development will help achieve a balance of land use and/or housing types within the Town, according to the Town's goals.

Staff Response: The plat provides for single-family homes and the potential for townhomes. Adding townhomes to Frederick will help balance the existing housing inventory more as it currently stands at 90-95% single-family detached homes.

Legal Comments:

The Town Attorney's Office reviewed the application materials and has provided comments throughout the review period. All requested changes have been incorporated into the application package.

Alternatives/Options

Approval:

I move to approve 25-PCR-07, which recommends approval of the Wheatlands application package to the Board of Trustees.

Approval with Conditions:

I move to approve 25-PCR-07, which recommends approval of the Wheatlands application package to the Board of Trustees with the following conditions: (list conditions)

Denial:

I move to approve 25-PCR-07, which recommends denial of the Wheatlands application package to the Board of Trustees: (list criteria not met)

Financial Considerations

N/A

Staff Recommendation

Staff is recommending the Planning Commission recommend approval of the Wheatlands application package to the Board of Trustees.

Community Impact

25-PCR-07

A Resolution of the Planning Commission Recommending Approval of the Wheatlands Preliminary Development Plan and Preliminary Plat

Be it resolved by the Planning Commission of the Town of Frederick, Colorado:

- Section 1. The Frederick Planning Commission finds that:
- 1.1 An application for the Wheatlands subdivision package has been submitted, which is comprised of:
 - 1.1.1 Wheatlands Preliminary Development Plan
 - 1.1.2 Wheatlands Preliminary Plat
 - 1.2 Said application was found to be complete through the review process.
 - 1.3 Said application was considered during a public hearing held June 26th, 2025 at which time the public was able to provide testimony.
 - 1.4 Sufficient notice was given according to Section 4.5 of the Frederick Land Use Code.
 - 1.5 The Wheatlands Preliminary Development Plan Application conforms with the applicable requirements on Section 4.7.5.e of the Frederick Land Use Code, namely:
 - 1.5.1 The proposed benefits offset the proposed exceptions to the zoning and subdivision standards, and such exceptions are in the best interest of the public health, safety, and welfare of the community.
 - 1.5.2 The proposed development plan does not conflict with the restrictions on development plans, and the proposed zoning is compatible with the surrounding land uses.
 - 1.5.3 The development plan proposes creative and innovative design and high quality development, thereby protecting and promoting public safety, convenience, health, and general welfare.
 - 1.5.4 The uses and densities in the proposed development plan are compatible, and will be effectively integrated with adjacent neighborhoods which now exist or are proposed in the future.
 - 1.5.5 The proposed development plan is in general conformance with the Comprehensive Plan.
 - 1.6 The Wheatlands Preliminary Plat application conforms with the applicable requirements of Section 4.7.4.b. of the Frederick Land Use Code, namely:
 - 1.6.1 The preliminary plat provides for a functional system of land use and is consistent with the criteria set forth in this Code.

- 1.6.2 The land use mix within the project conforms to the Town's zoning district map and furthers the following planning objectives:
 - 1.6.2.1 The proposed development promotes the Town's small-town, rural character, or implements a Board-approved sub-area, corridor, or urban renewal plan, however titled;
 - 1.6.2.2 Proposed residential development adds diversity to the Town's housing supply;
 - 1.6.2.3 Parks and open space are incorporated into the site design, as appropriate to the proposed principal use or uses of the land;
 - 1.6.2.4 The proposed project protects the Town's environmental quality; and
 - 1.6.2.5 The development enhances cultural, historical, educational and/or human service opportunities.
- 1.6.3 The utility and transportation design is adequate, given existing and planned capacities of those systems.
- 1.6.4 Negative impacts on adjacent land uses have been identified and satisfactorily mitigated.
- 1.6.5 There is a need or desirability within the community for the applicant's development, and the development will help achieve a balance of land use and/or housing types within the Town, according to the Town's goals.

Section 2. The Planning Commission recommendation is based on competent, substantial evidence in the written record and the testimony provided at the public hearing.

Section 3. On the basis of the above, the Town of Frederick Planning Commission recommends that the Board of Trustees approve the Wheatlands applications with no conditions.

This resolution approved this 26th day of June, 2025 by a vote of ____ to ____.

Tracy Moe, Chairperson, Planning Commission



TOWN OF FREDERICK

PLANNING DEPARTMENT

401 LOCUST STREET • P.O. BOX 435 • FREDERICK, CO 80530-0435

PHONE: (720) 382-5500 • FAX: (720) 382-5520

www.frederickco.gov

Built On What Matters

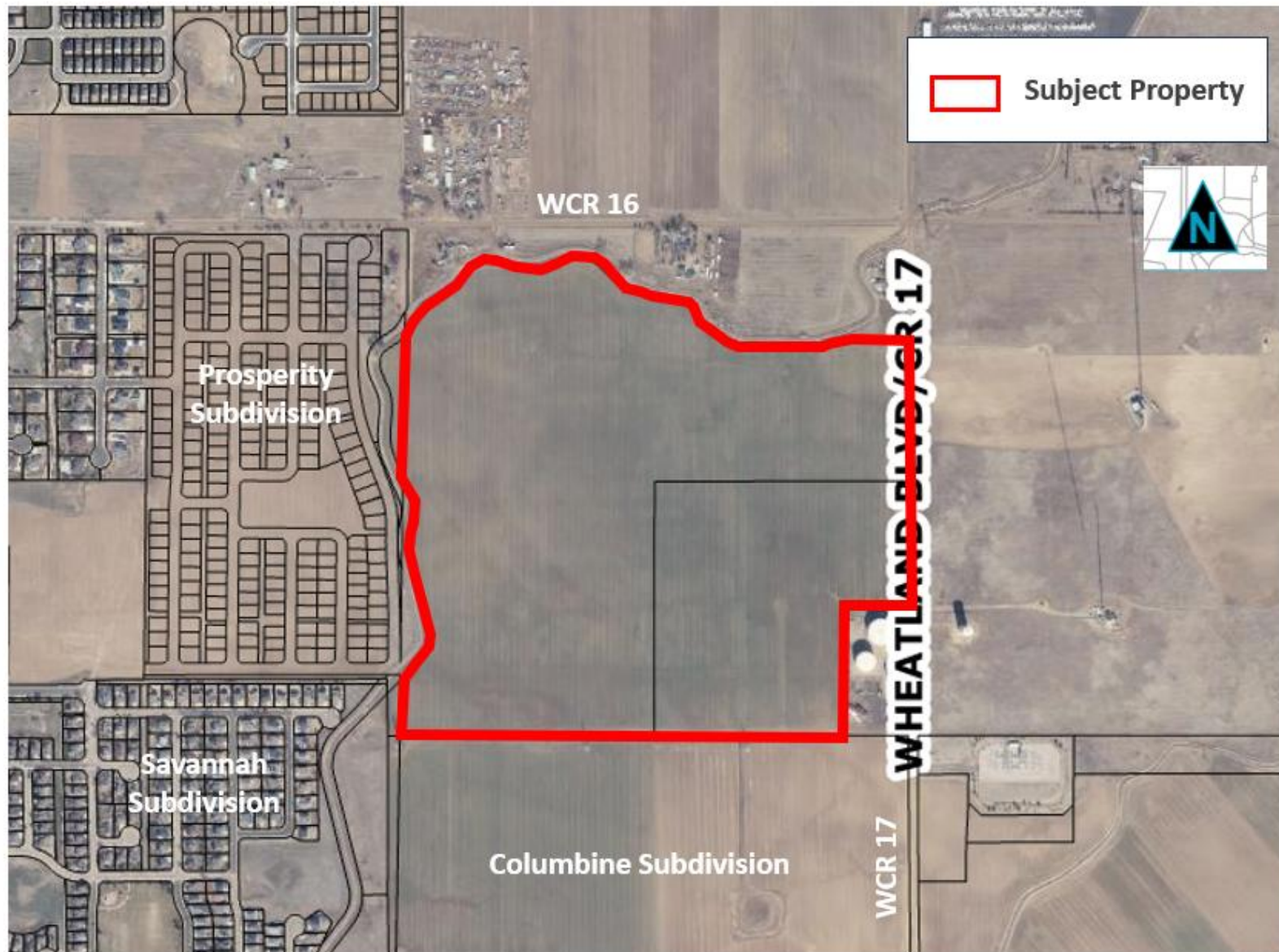
LAND USE APPLICATION FORM	
PROJECT NAME: Wheatlands (Preliminary Pat & PDP)	
DATE SUBMITTED: 4.1.2022	APPLICATION DEPOSIT & FEE: \$5000 Deposit / \$3500 fee
TYPE OF APPLICATION:	
☐ Annexation, Zoning and Concept Plan ☐ Annexation Agreement Amendment ☐ Appeal of Administrative Decision ☐ Code Text/Comprehensive Plan amendment/ Planning Area Amendment ☐ Conditional Use Review ☐ Conditional Use Site Plan ☐ Final Development Plan ☐ Final Plat ☐ Metropolitan District	☐ Minor Modification ☐ Minor Subdivision Replat ☐ Oil and Gas Drilling ☒ Preliminary Development Plan ☒ Preliminary Plat ☐ Site Plan ☐ Sketch Plan ☐ Street Name Change ☐ Subdivision Amendment
☐ Temporary Use ☐ Vacation of ROW or Easement ☐ Variance/Waiver ☐ Vesting Property Rights ☐ Zoning Compliance Letter ☐ Zoning Map Amendment ☐ Written Interpretation ☐ Other	
PROJECT INFORMATION:	
Applicant's Name (This will be the primary contact): Kristin Turner - TB Group	Phone/Fax: 970.532.5891
Address: 44 Mountain Avenue Berthoud, CO 80513	Relation to Property Owner: Planner / Consultant
E-mail Address: kristin@tbgroup.us	
ADDITIONAL CONTACTS:	
Property Owner: Wheatly LLC Daniel Traylor, Manager	Consultant Business Name: Consultant Personal Contact:
Address: PO Box 243 Parker, CO 80134	Address:
Phone/Fax: 512 638-6682	Phone/Fax:
E-mail Address: jlandwehr@traylor.com	E-mail Address:

LAND USE APPLICATION FORM (CONTINUED)	
Property Owner:	Consultant Business Name: Consultant Personal Contact:
Address:	Address:
Phone/Fax:	Phone/Fax:
E-mail Address:	E-mail Address:
Legal Description of Property (location within township, section, and range): SITUATED IN THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 2 NORTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF FREDERICK, WELD COUNTY, COLORADO	
TOTAL ACREAGE OF PROPERTY UNDER CONSIDERATION:	
Is site within Frederick Planning Area?	☒ Yes ☐ No
Project Address (if applicable): N/A	
Existing Use: VACANT	Existing Zoning: R1 & PUD
Proposed Use: RESIDENTIAL	Proposed Zoning: N/A
Number of Existing Residential Lots: N/A	Number of Proposed Residential Lots: 334
Number of Existing Commercial Lots: N/A	Number of Proposed Commercial Lots: N/A
Number of Existing Industrial Lots: N/A	Number of Proposed Industrial Lots: N/A
COMPREHENSIVE PLAN MAP DESIGNATIONS:	
LAND USE & PUBLIC FACILITIES Land Use Designation(s): Central Weld County Water District waterline crosses the site and one water towers near the SE corner of the site. Waterlines within Tipple and Wheatland Public Facilities:	UTILITY AND SPECIAL DISTRICTS Water: Town of Frederick Sewer: Saint Vrain Sanitation District Fire Protection: Frederick - Firestone Fire Protection District Other: Xcel Energy (Electric) / Black Hills Energy (Gas)
TRANSPORTATION Street Connections: Lyden Creek Boulevard (W) CR 17 (E)	ENVIRONMENTAL ISSUES Property in Floodplain: ☐ Yes ☒ No Sensitive Wildlife habitat area: ☐ Yes ☒ No
PARKS, OPEN SPACE AND RECREATION Proposed park and/or trail: N/A per the comp plan Trail proposed along bull Canal of the Stanley Ditch per plat.	SUBSIDENCE AND OIL AND GAS Subsidence area: ☐ Yes ☒ No Oil and/or gas wells: ☒ Yes ☐ No
CERTIFICATION: I certify that I am the lawful owner of the parcel(s) of land which this application concerns and consent to this action.	
Owner: 	Date: 3/30/2022
I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. In filing this application I am acting with the knowledge and consent of the property owners. I understand that all materials and fees required by the Town of Frederick must be submitted prior to having this application processed.	
Applicant: Kristin Turner	Date:

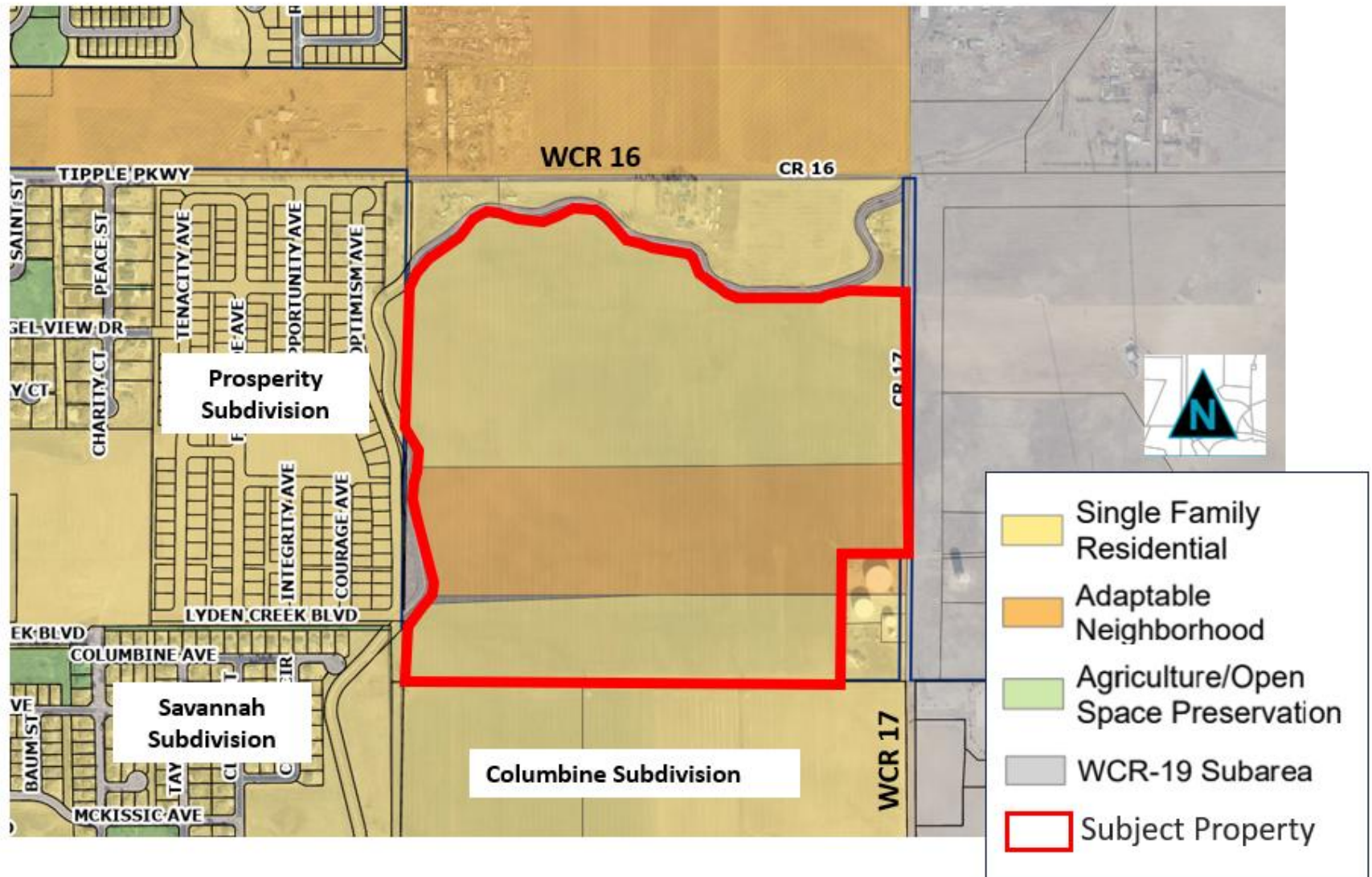
Wheatlands – Letter of Intent

This is an application for preliminary plat and preliminary development plan for the Wheatlands property. This site is envisioned as a high-quality residential neighborhood that will include single-family detached housing as well as single-family attached housing (future development tract). Various lot sizes will be provided which will support diversity in age, income levels and family sizes for this community. It will provide much needed housing options as there is both a national and community shortage. A neighborhood park and several pocket parks are included in the design of this community. Open space buffers and tracts are also components of the community with trails used as connections between amenity and open space areas.

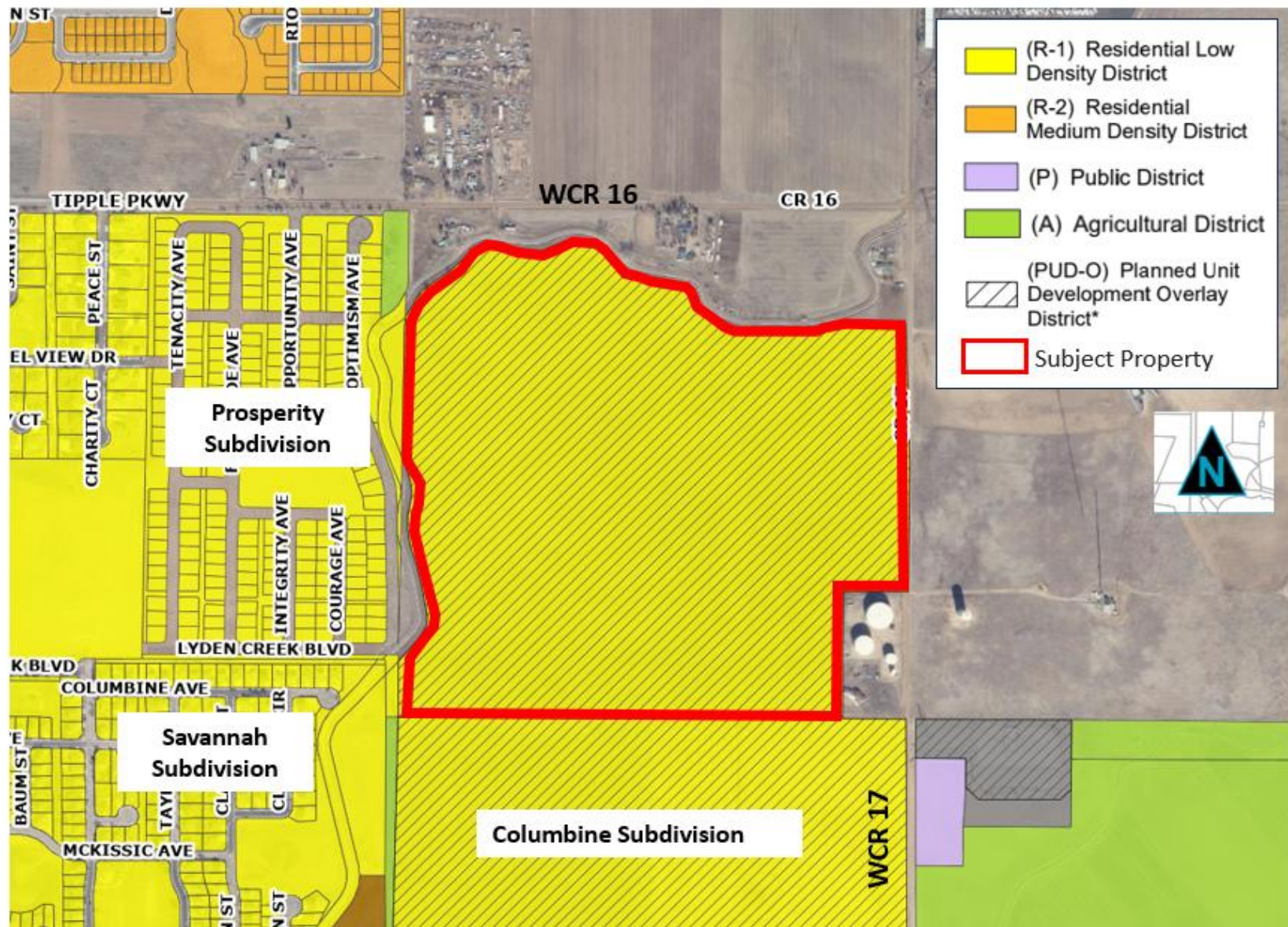
Vicinity Map



Future Land Use Plan



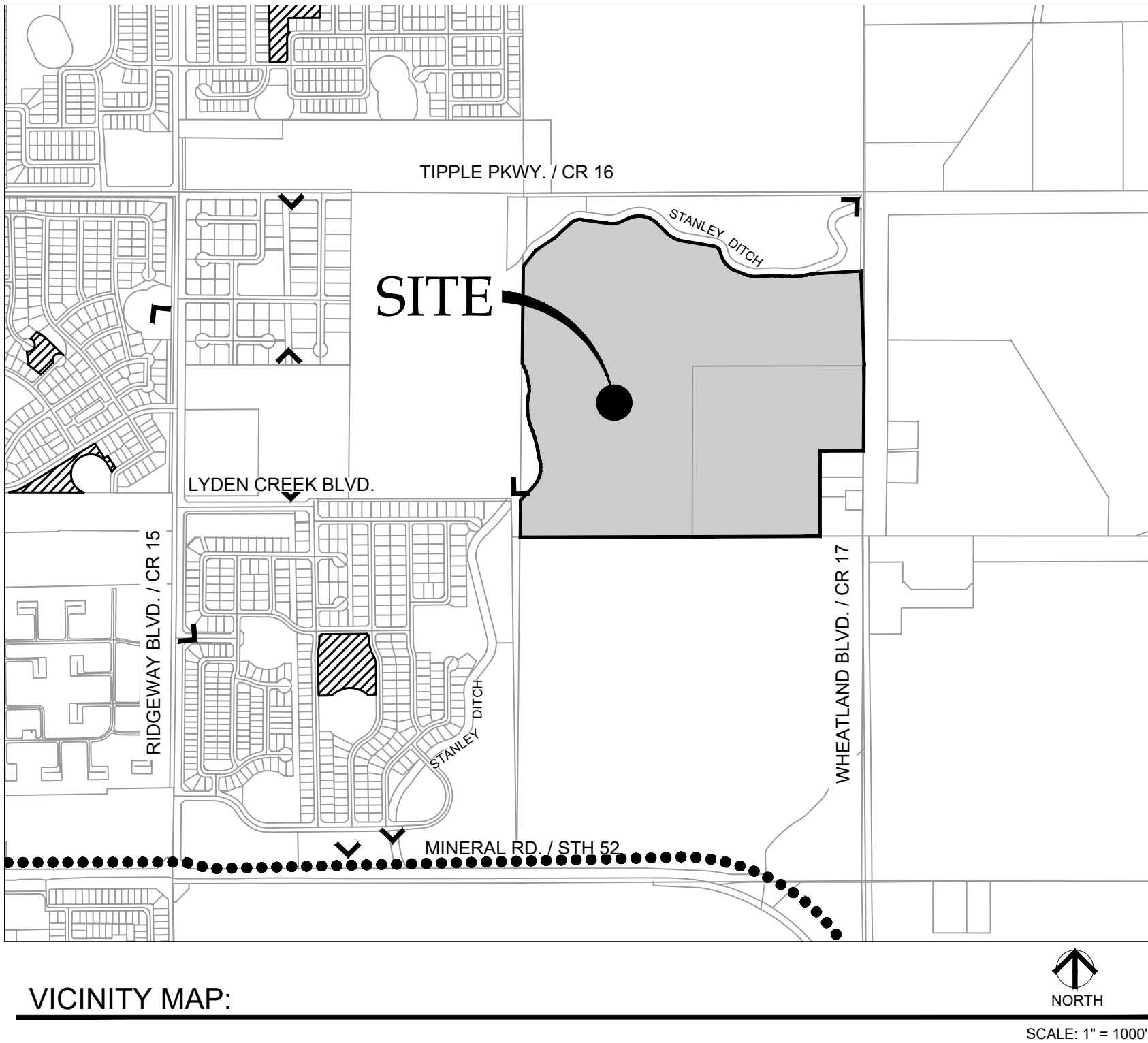
Zoning Map



WHEATLANDS SUBDIVISION

PRELIMINARY DEVELOPMENT PLAN

SITUATED IN THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 2 NORTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF FREDERICK, WELD COUNTY, COLORADO
124.80 ACRES



VICINITY MAP:

NOTES:

- THIS DEVELOPMENT PLAN CREATES STANDARDS THAT SUPERSEDE STANDARDS FOUND IN THE LAND USE CODE. IN THE EVENT THAT THERE IS A DISCREPANCY BETWEEN THE LAND USE CODE AND THIS DEVELOPMENT PLAN, THE DEVELOPMENT PLAN SHALL CONTROL. ANY PROVISIONS THAT ARE NOT SPECIFICALLY ADDRESSED IN THIS DEVELOPMENT PLAN SHALL COMPLY WITH THE LAND USE CODE AT THE TIME OF APPROVAL (ADOPTED AUGUST 2004). ANY DEVELOPMENT STANDARDS NOT ADDRESSED IN THIS DEVELOPMENT PLAN WILL COMPLY WITH THE UNDERLYING ZONE DISTRICT.

LEGAL DESCRIPTION

SITUATED IN THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 2 NORTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF FREDERICK, WELD COUNTY, COLORADO

EXISTING PROPERTY ZONING

RESIDENTIAL LOW DENSITY DISTRICT WITH A PLANNED UNIT DEVELOPMENT OVERLAY DISTRICT

DEVELOPER/APPLICANT

WHEATLY, LLC
PO BOX 243
PARKER, CO 80134
512.638.6682

CONTACT: JOHN LANDWEHR
JLANDWEHR@TRAYLOR.COM

PLANNER/ LANDSCAPE ARCHITECT

TB GROUP
444 MOUNTAIN AVENUE
BERTHOUD, COLORADO 80513
970.532.5891

CONTACT: KRISTIN TURNER
KRISTIN@TBGROUP.US

SITE ENGINEER/SURVEYOR

HIGHLAND DEVELOPMENT SERVICES, INC.
6355 FAIRGROUNDS AVENUE, SUITE 100
WINDSOR, COLORADO 80550
970.674.7570

CONTACT: JASON CLAEYS, PE
JCLAEYS@HIGHLAND-DS.COM

APPROVAL SIGNATURE

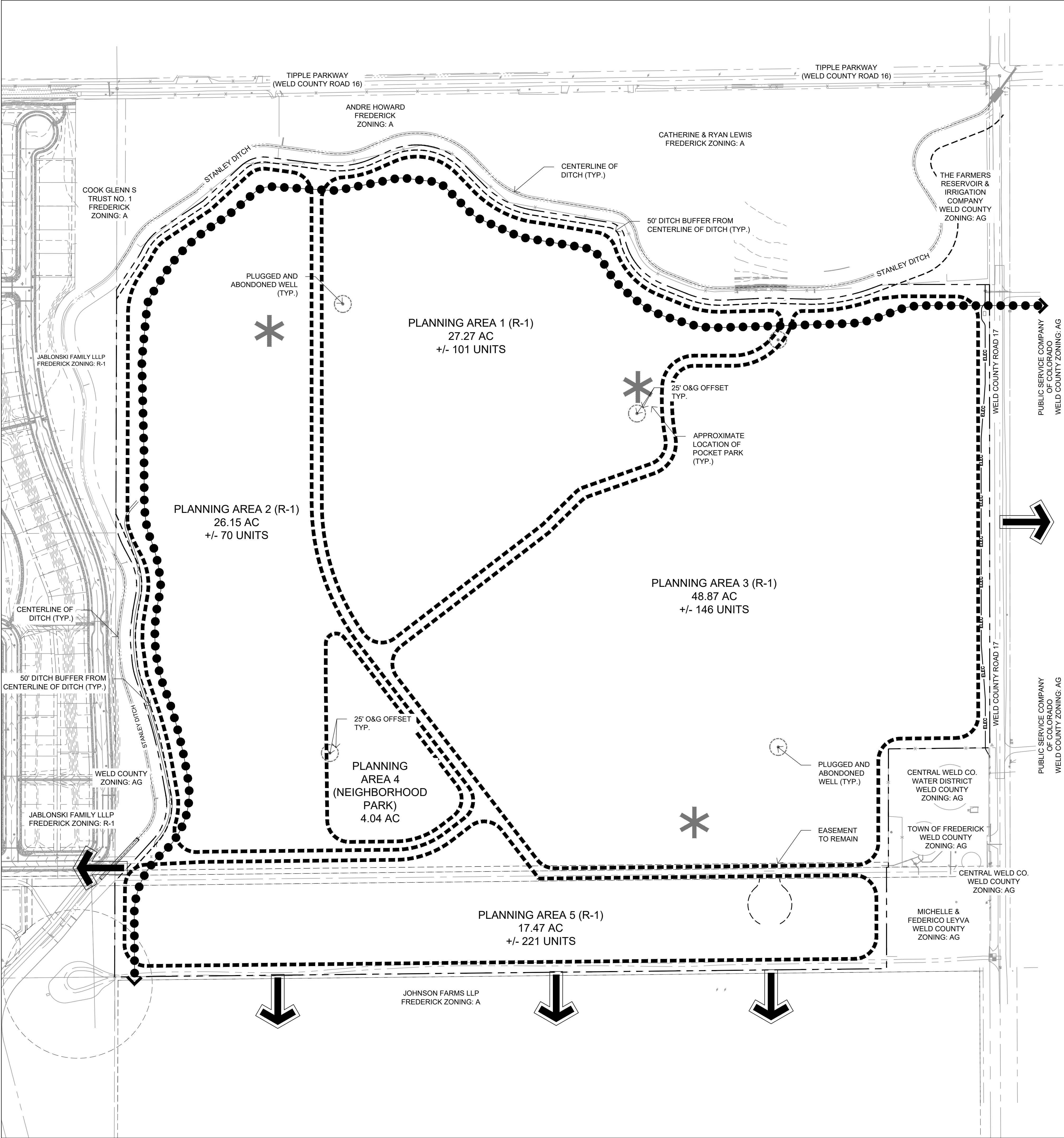
THIS WHEATLANDS PRELIMINARY DEVELOPMENT PLAN IS APPROVED AND ACCEPTED BY THE TOWN OF FREDERICK PLANNING DEPARTMENT THIS _____ DAY OF _____, 20____.

PLANNING MANAGER

SHEET INDEX:

SHEET 1	COVER SHEET
SHEET 2	VICINITY MAP
SHEET 3	DEVELOPMENT PLAN
SHEET 4	GENERAL DEVELOPMENT INFORMATION
SHEET 5	GENERAL DEVELOPMENT INFORMATION & FENCE DETAIL

REVISIONS	DATE
STAFF COMMENTS	06.07.23
STAFF COMMENTS	08.15.23
STAFF COMMENTS	10.18.23
STAFF COMMENTS	04.30.24
STAFF COMMENTS	08.16.24
STAFF COMMENTS	02.24.25
STAFF COMMENTS	04.03.25



Site Legend

PROPERTY BOUNDARY

PLANNING AREAS
(FOR GRAPHICAL PURPOSES
ONLY)

DITCH BUFFER

CENTER OF DITCH

PEDESTRIAN/BIKE TRAIL

ACCESS POINT

APPROXIMATE LOCATION
OF POCKET PARK

25'

PLUGGED &
ABANDONED WELL

Land-Use Statistics

PLANNING AREA TOTAL	PHASE	PROPOSED USE	GROSS ACREAGE	ESTIMATED UNITS	PROPOSED DENSITY	MAXIMUM DENSITY	% OF TOTAL
PLANNING AREA 1	TBD	R-1 RESIDENTIAL POCKET PARK	+/- 27.27 AC	+/- 101	3.70 DU/AC		
PLANNING AREA 2	TBD	R-1 RESIDENTIAL POCKET PARK	+/- 26.15 AC	+/- 70	2.68 DU/AC		
PLANNING AREA 3	TBD	R-1 RESIDENTIAL POCKET PARK	+/- 48.87 AC	+/- 146	2.99 DU/AC		
PLANNING AREA 4	TBD	NEIGHBORHOOD PARK	+/- 4.04 AC	-	-		
PLANNING AREA 5	TBD	TOWNHOMES RESIDENTIAL POCKET PARK	+/- 17.47 AC	+/- 221	12.65 DU/AC		
TOTAL			+/- 123.80 AC				

Existing Property Zoning

RESIDENTIAL LOW DENSITY DISTRICT WITH A PLANNED UNIT DEVELOPMENT OVERLAY DISTRICT

Landscape Design Intent:

THE LANDSCAPE DESIGN WILL PROVIDE A CONTEXTUAL MIX OF PLANT MATERIAL USING DRYLAND SEED IN THE MAJORITY OF THE OPEN SPACE AREAS WITH BLUEGRASS SOD BEING USED AS APPROPRIATE IN HIGH IMPACT AREAS AND PARK SPACES. SHRUB BEDS WILL FURTHER COMPLIMENT THESE SPACES TO PROVIDE COLOR AND YEAR ROUND INTEREST TO THE COMMUNITY. XERIC DESIGN PRINCIPLES WILL HELP GUIDE AND DIRECT THE SELECTED PLANT PALETTE AND STRUCTURE

WALK / TRAIL MINIMUM REQUIREMENTS:
SIDEWALK WIDTH: 5 FEET WALKWAYS THROUGH SUBDIVISION BLOCKS: 5 FT WITHIN A 20 FT TRACT MULTI-USE PATHWAYS (BIKEWAYS): 8 FEET OPEN SPACE TRAILS: 8 FEET

A MIX OF CONCRETE (PRIMARY TRAILS) AND SOFT SURFACE (SECONDARY TRAILS) TRAILS ARE PROPOSED

Notes:

1. THE TOTAL UNITS IN A PLANNING AREA MAY VARY BY UP TO TWENTY PERCENT (20%)
2. THE TOTAL NUMBER OF UNITS INCLUDED IN THE TOTAL UNIT COUNT, IS BASED ON A CONCEPTUAL LAYOUT. THE ACTUAL NUMBER OF UNITS WILL BE DETERMINED AT THE TIME OF FINAL PLAT AND FINAL DEVELOPMENT PLAN FOR EACH PLANNING AREA.
3. SPECIFIC LAYOUTS WITHIN THE FUTURE DEVELOPMENT TRACT WILL BE DETERMINED AT THE TIME OF FINAL PLAT AND WILL BE SHOWN ON A FINAL DEVELOPMENT PLAN.
4. ALL TRAILS WITHIN THE OUTLOTS, PARKS AND PUBLIC RIGHTS-OF-WAY SHALL BE A MINIMUM OF EIGHT (8) FEET WIDE. THE TRAILS WITHIN ALL OUTLOTS AND PARKS SHALL BE MULTI-USE PATHWAYS.
5. NO FLOOD PLAIN EXISTS ON THE PROPERTY

0

150'

225'

300'

SCALE 1" = 150'-0"

NORTH

TB GROUP

landscape architecture|planning|illustration

444 Mountain Ave.
Bartoud, CO 80513

TEL 970.532.5891
WEB TBGroup.us

SEAL

PROJECT TITLE

WHEATLANDS
5
Preliminary Development
Plan

Frederick, Colorado

PREPARED FOR

WHEATLY, LLC

25

PO BOX 243
PARKER, CO 80134

NOT FOR CONSTRUCTION
FOR REVIEW ONLY

CALL UTILITY NOTIFICATION CENTER OF
COLORADO

811

Know what's below.
Call before you dig.

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG. GRADE, OR EXCAVATE FOR THE REMOVAL OF
UNDERGROUND MEMBER UTILITIES.

REVISIONS	DATE
STAFF COMMENTS	06.07.23
STAFF COMMENTS	08.15.23
STAFF COMMENTS	10.18.23
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STAFF COMMENTS	02.24.25
STAFF COMMENTS	04.03.25

DATE

April 1, 2022

SHEET TITLE

DEVELOPMENT PLAN

SHEET INFORMATION

SHEET 3 OF 5

Page 42 of 55

DESIGN GUIDELINES TABLE OF CONTENTS

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2.0 VISION AND INTENT
3.0 LOT AND BLOCK DESIGN
4.0 STREETS
5.0 PARKING
6.0 EASEMENT AND UTILITY STANDARDS
7.0 PARKS AND OPEN SPACE
8.0 PUBLIC SITES AND DEDICATION REQUIREMENTS

- 9.0 FAIR CONTRIBUTION FOR PUBLIC SCHOOL SITES
10.0 LANDSCAPE DESIGN
11.0 BUFFERING AND SCREENING TECHNIQUES
12.0 FENCE AND WALLS
13.0 RESIDENTIAL ARCHITECTURE (SINGLE FAMILY & MULTI-FAMILY DWELLINGS)
14.0 LIGHTING
15.0 CONDITIONS AND PERMITTED USES BY ZONE DISTRICT
16.00 DENSITY AND DIMENSIONAL STANDARDS

1.0 GENERAL PROVISIONS

RELATIONSHIP TO TOWN OF FREDERICK REGULATIONS
THE PROVISIONS OF THE PRELIMINARY DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF WHEATLANDS, PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS PDP DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS IN THE TOWN OF FREDERICK LAND USE CODE, AS AMENDED ("LUC") SHALL GOVERN.

2.0 VISION AND INTENT

WHEATLANDS SUBDIVISION (AKA 'WHEATLANDS') IS A PROPOSED PLANNED UNIT DEVELOPMENT (PUD) LOCATED IN THE TOWN OF FREDERICK, COLORADO, SOUTH OF CR 16 AND WEST OF CR 17.

WHEATLANDS CONTAINS THE R-1 (RESIDENTIAL LOW DENSITY) ZONE DISTRICT WITH A PUD OVERLAY. THIS DISTRICT IS INTENDED PRIMARILY FOR SINGLE-FAMILY USES WITH A PERMITTED USE FOR TOWNHOMES (UP TO 15 ACRES OF THE PROPERTY). THE SITE IS CHARACTERIZED BY TREE-LINED STREETS, INTERCONNECTED PEDESTRIAN CIRCULATION SYSTEM AND A NEIGHBORHOOD PARK.

THE PROPERTY IS COMPATIBLE WITH THE LAND USES FOUND ON THE ADJACENT PROPERTIES. THE PROPERTY TO THE WEST WILL SOON BE DEVELOPED (PROSPERITY SUBDIVISION). BOTH NORTH AND SOUTH ARE CURRENTLY VACANT BUT HAVE POTENTIAL RESIDENTIAL DEVELOPMENT PROPOSALS IN VARIOUS STAGES WITH THE TOWN.

3.0 LOT AND BLOCK DESIGN

INTENT
THE INTENT OF THE BLOCK AND LOT STANDARDS ARE TO CREATE A BLOCK SYSTEM IN A MANNER THAT IS COMPATIBLE WITH SITE-SPECIFIC ENVIRONMENTAL CONDITIONS.

ALL LOTS AND BLOCKS SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 2.6 LOTS AND BLOCKS), PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.

BLOCKS:
STREETS SHALL BE DESIGNED TO CREATE BLOCKS THAT CONSIDER INTERCONNECTEDNESS, TOPOGRAPHY, SOLAR ORIENTATION, VIEWS AND OTHER DESIGN FEATURES. BLOCKS SHALL BE DESIGNED TO HAVE A LENGTH OF BETWEEN THREE HUNDRED (300) FEET AND ONE THOUSAND (1000) FEET. ANY BLOCKS THAT EXCEEDS 700 FEET WILL REQUIRE A TRAFFIC CALMING FEATURE TO ALLOW FOR SAFE PEDESTRIAN CONNECTIONS THROUGH THE BLOCK. THE LENGTHS, WIDTHS AND SHAPES OF BLOCKS SHALL BE DETERMINED WITH DUE REGARD TO THE FOLLOWING:

1. PROVISION OF ADEQUATE BUILDING SITES SUITABLE TO THE SPECIAL NEEDS OF THE TYPE OF USE CONTEMPLATED.
2. NEED FOR CONVENIENT ACCESS, CONTROL, AND SAFETY OF VEHICULAR AND PEDESTRIAN TRAFFIC CIRCULATION.
3. LIMITATIONS AND OPPORTUNITIES OF TOPOGRAPHY.

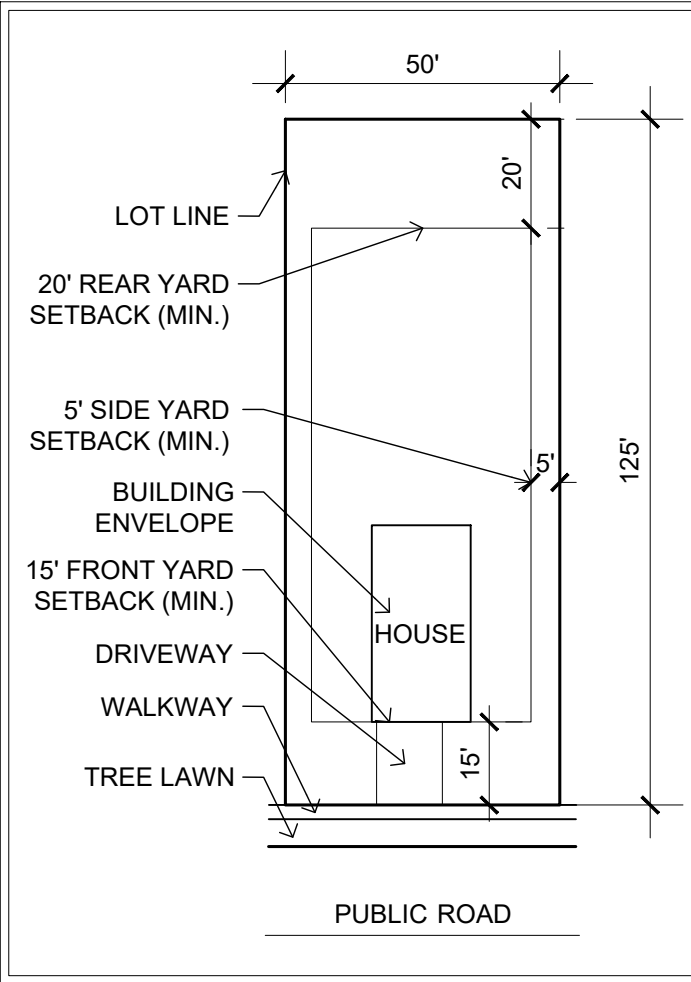
CORNER LOTS:
CORNER LOTS FOR RESIDENTIAL USE SHALL HAVE EXTRA WIDTH TO ACCOMMODATE SIDE ELEVATION ENHANCEMENTS, SUCH AS PORCHES AND BAY WINDOWS, THE REQUIRED BUILDING SETBACK, AND UTILITY EASEMENTS ON BOTH STREET FRONTAGES. FOR A CORNER LOT, THE FRONT OF THE LOT IS DEFINED AS THE SIDE HAVING THE SHORTEST STREET FRONTAGE AND SHALL MAINTAIN A FRONT YARD SETBACK.

DOUBLE FRONTAGE:

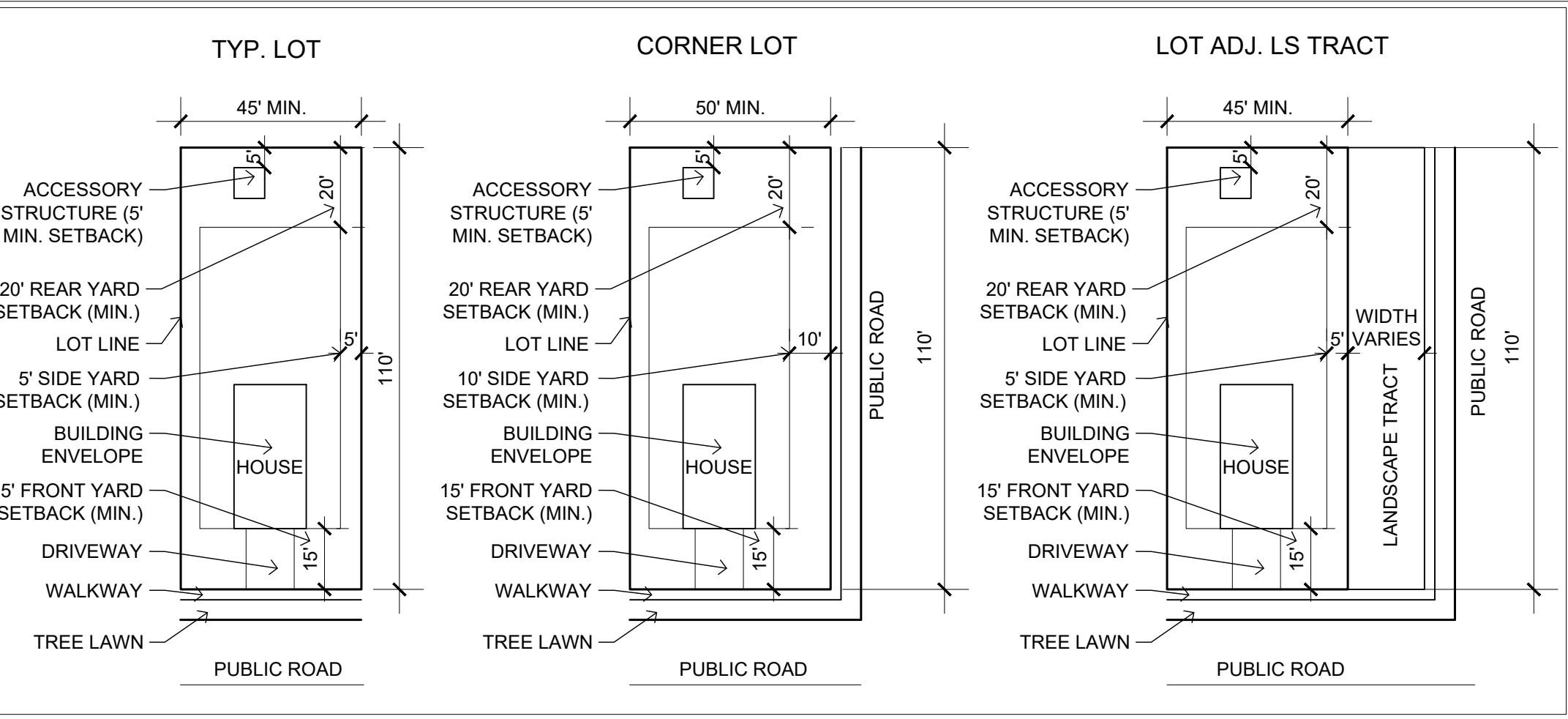
- (a) RESIDENTIAL LOTS ADJACENT TO COLLECTOR & LOCAL STREETS. WHEN RESIDENTIAL LOTS ARE ADJACENT TO, AND THE HOUSE DOES NOT FACE A LOCAL OR COLLECTOR STREET (I.E. REAR YARDS ABUT THE STREET), THEY SHALL REQUIRE LANDSCAPE BUFFER 18 FEET IN WIDTH LOCATED BETWEEN THE REAR LOT LINE AND THE CURB. THE REAR SETBACK TO THE HOUSE SHALL MEET THE BULK STANDARDS DEFINED IN THIS PDP. NO VEHICULAR ACCESS SHALL BE PERMITTED ACROSS THIS LANDSCAPED AREA FOR REAR RESIDENTIAL LOT LINES ABUTTING LOCAL AND COLLECTOR STREETS.
- (b) RESIDENTIAL LOTS ADJACENT TO ARTERIAL STREETS. WHEN RESIDENTIAL LOTS ARE ADJACENT TO, AND THE HOUSES DO NOT FACE AN ARTERIAL STREET (I.E. REAR YARDS ABUT THE STREET), THEY SHALL REQUIRE A FORTY FOOT (40') LANDSCAPE BUFFER LOCATED BETWEEN THE REAR LOT LINE AND THE CURB. THE REAR SETBACK TO THE HOUSE SHALL MEET THE BULK STANDARDS AS DEFINED IN THIS PDP. WHEN HOUSES FACE THE ARTERIAL STREET OR ARE SIDE-LOADED RELATIVE TO THE STREET, THE FRONT OR SIDE SETBACK TO THE HOUSE, RESPECTIVELY, SHALL BE A MINIMUM OF FIFTY (50) FEET. NO VEHICULAR ACCESS SHALL BE PERMITTED ACROSS THIS LANDSCAPED BUFFER AREA FOR REAR RESIDENTIAL LOT LINES ABUTTING THE ARTERIAL STREET

LOTS DIMENSIONS AND CONFIGURATIONS:

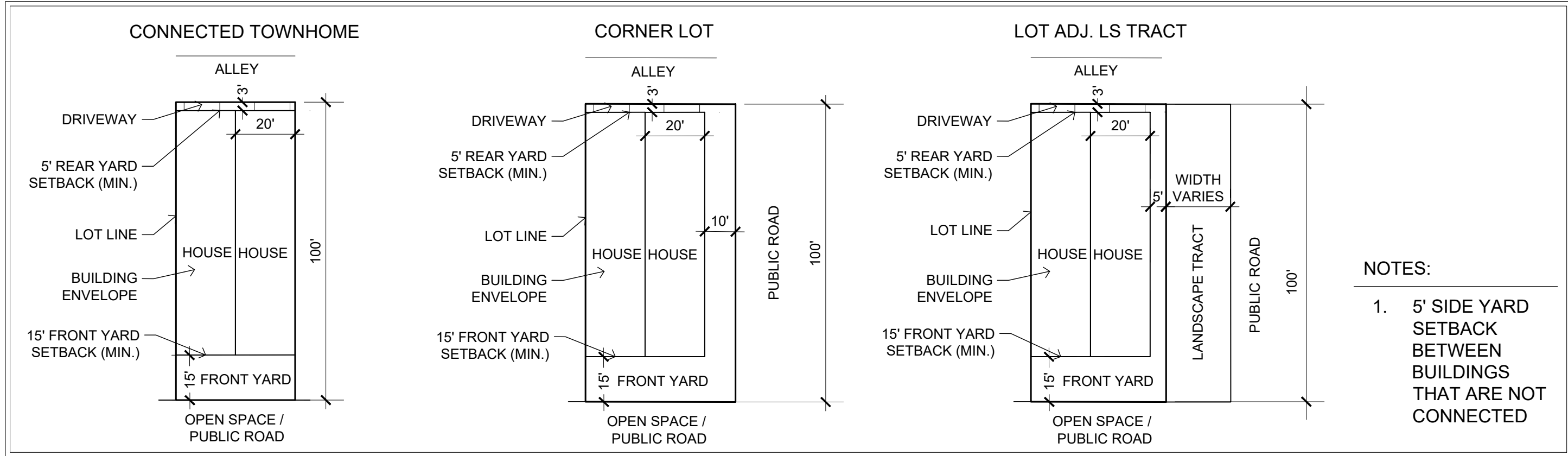
R-1 ZONING (TYP.)



R-1 W/ PUD OVERLAY



TYPICAL TOWNHOME



NOTES:

1. 5' SIDE YARD SETBACK BETWEEN BUILDINGS THAT ARE NOT CONNECTED

4.0 STREETS

ALL STREETS SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 2.7 STREETS,) PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.

5.0 PARKING

ALL PARKING SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 2.8 PARKING,) PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.

LOCATION OF SPACES:
RESIDENTIAL
(1) REQUIRED OFF-STREET PARKING IN RESIDENTIAL ZONES SHALL NOT LIE WITHIN ANY REQUIRED SIDE YARD SETBACK ADJACENT TO A STREET. DRIVEWAY SPACES WITHIN THE FRONT YARD SETBACK CAN BE COUNTED FOR REQUIRED OFF-STREET PARKING.
(2) TANDEM PARKING IS ALLOWED TO MEET REQUIRED OFF-STREET PARKING REQUIREMENTS.

6.0 EASEMENT AND UTILITY STANDARDS

ALL EASEMENTS AND UTILITY STANDARDS SHALL FOLLOW THE TOWN OF FREDERICK LAND USE CODE SECTION 2.10 EASEMENTS AND UTILITY STANDARDS.

7.0 PARKS AND OPEN SPACE

ALL PARKS AND OPEN SPACE SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 2.11 PARKS AND OPEN SPACE,) PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.

1. PARK AND OPEN SPACE REQUIREMENTS SHALL BE IN CONFORMANCE WITH THE APPROVED ANNEXATION AGREEMENT FOR THE PROPERTY.
2. PARKS, OPEN SPACE AND TRAILS SHALL BE INSTALLED PER THE PLANNING AREA IN WHICH IT IS DESIGNATED.
3. PARKING FOR POCKET PARKS (OTHER THAN ADJACENT ON-STREET PARKING) IS NOT REQUIRED.
4. FENCING OF OPEN SPACE AREAS IS NOT REQUIRED.
5. ONE NEIGHBORHOOD PARK WILL BE REQUIRED FOR THE WHEATLANDS SUBDIVISION. IF IT IS NOT LOCATED WITHIN 1/4 MILE RADIUS OF ALL LOTS, POCKET PARKS WILL BE USED TO SATISFY A PARK LOCATION FOR THOSE LOTS. IF A POCKET PARK IS USED TO HELP MEET THIS REQUIREMENT, IT WILL INCLUDE ONE (1) ADDITIONAL AMENITY PER TABLE 2-5 (SECTION 2.11, 5.B (1)).

8.0 PUBLIC SITES AND DEDICATION REQUIREMENTS

ALL DEDICATION REQUIREMENTS SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 2.12 PUBLIC SITES AND DEDICATION REQUIREMENTS,) PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.

PUBLIC SITES AND DEDICATION REQUIREMENTS SHALL BE PER THE APPROVED ANNEXATION AGREEMENT.

9.0 FAIR CONTRIBUTION FOR PUBLIC SCHOOL SITES

ALL CONTRIBUTION FOR SCHOOL SITES SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 2.13 FAIR CONTRIBUTION FOR PUBLIC SCHOOL SITES), PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.

PAYMENT IN-LIEU OF THE DEDICATION OF LAND, PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT FOR ANY RESIDENTIAL DWELLING UNIT NOT OTHERWISE EXEMPT UNDER SUBSECTION (1) ABOVE, THE SUBDIVIDER SHALL PAY TO THE SCHOOL DISTRICT, ON BEHALF OF THE TOWN, THE CASH TO BE PAID IN-LIEU OF LAND DEDICATION.

10.0 LANDSCAPE DESIGN

ALL LANDSCAPE DESIGN SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 2.14 LANDSCAPE DESIGN), PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.

DESIGN PRINCIPLES
LANDSCAPE PLANS SHALL USE THE FOLLOWING DESIGN PRINCIPLES:
3.A 10(f). ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESEED TO PREVENT EROSION. NATIVE, NON-INVASIVE GRASSES SHALL BE USED FOR RE-VEGETATION WHERE PRACTICAL. WEED CONTROL IS THE RESPONSIBILITY OF THE LANDOWNER OR APPROVED DESIGNEE PER THE APPROVED MAINTENANCE AGREEMENT. NATIVE AREAS UNDISTURBED BY DEVELOPMENT CAN REMAIN UNDISTURBED WITHOUT REQUIREMENTS FOR ANY ADDITIONAL ENHANCEMENT AND/OR PLANTING.

PLANTING MATERIALS

- 5(a). THE MINIMUM PLANTING SIZES ON ALL REQUIRED LANDSCAPING SHALL BE TWO-INCH (2") CALIPER DECIDUOUS TREES, ONE-AND-ONE-HALF-INCH (1 1/2") CALIPER ORNAMENTAL TREES, SIX FOOT (6') TALL EVERGREEN TREES AND FIVE (5) GALLON SHRUBS. PERENNIALS SHALL BE ONE (1) GALLON CONTAINER SIZE.

- (5). IRRIGATION
ALL REQUIRED LANDSCAPING SHALL BE IRRIGATED AS REQUIRED FOR PLANT ESTABLISHMENT, HEALTH, AND MAINTENANCE. IRRIGATION SYSTEMS SHALL BE ZONED APPROPRIATE TO THE TYPE AND SCOPE OF THE LANDSCAPE IMPROVEMENTS AND PLANT REQUIREMENTS, INCLUDING BUT NOT LIMITED TO LANDSCAPING WITHIN THE RIGHT-OF-WAY. IRRIGATION SYSTEMS SHALL BE CAPABLE OF SUPPORTING MULTIPLE ZONES AND SETTINGS, INCLUDING ADJUSTING FOR WEATHER CONDITIONS AND WATER RESTRICTIONS. ALL IRRIGATION SYSTEMS SHALL BE CONNECTED TO A BACK FLOW PREVENTION DEVICE. IRRIGATION CRITERIA CAN BE ADJUSTED AS FUTURE WATER POLICY AND/OR A NON POTABLE WATER SYSTEM IS INSTALLED.

LANDSCAPE DESIGN STANDARDS

- 6(a)(1)(a). SPACING REQUIREMENTS: UNLESS OTHERWISE NOTED IN THIS CODE, STREET TREES SHALL BE SPACED WITHIN THE TREE LAWN, SUFFICIENT FOR MATURE GROWTH AND TO AVOID CONFLICTS WITH LIGHTING, AND UTILITIES. FOR CALCULATING THE MINIMUM REQUIRED NUMBER OF STREET TREES, THERE SHALL BE ONE (1) TREE FOR EVERY FORTY (40) LINEAR FEET OF ROAD FRONTAGE OR CURB, EXCEPT WHERE PROHIBITED DUE TO LIGHTING OR UTILITY CONFLICTS, UNLESS OTHERWISE SPECIFIED BY THIS CODE (SEE FIGURE 2-8 Section2 6(a)(a)iii).

ADDITIONAL LANDSCAPE REQUIREMENTS BY ZONING DISTRICT

- 7(b)(1)(a). FRONT YARD LANDSCAPING PROVIDED BY HOMEBUILDER EXTENDING FROM THE FENCE LINE OR FRONT YARD SETBACK LINE (WHICHEVER IS GREATER), TO THE FRONT EDGE OF THE PROPERTY, SIDEWALK AND BACK-OF-CURB (WHICHEVER IS GREATER).

- 7(b)(1)(a)(i). EXCLUDING SIDEWALKS, THERE SHALL BE NO LESS THAN SEVENTY-FIVE PERCENT (75%) OF THE SIDE LOT SHALL BE COVERED IN LIVE PLANT MATERIALS SUCH AS GROUND COVER, SHRUBS, ORNAMENTAL GRASS, FLOWERS, DROUGHT TOLERANT TURF GRASS ETC. LOCATED BETWEEN THE DWELLING AND THE CURB / EDGE OR ROAD, UNLESS OTHERWISE APPROVED BY THE TOWN

11.0 BUFFERING AND SCREENING TECHNIQUES

ALL BUFFERING AND SCREENING TECHNIQUES SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 2.15 BUFFERING AND SCREENING TECHNIQUES), PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.

GENERAL PROVISIONS

BUFFERING MAY BE REQUIRED BETWEEN ANY DEVELOPMENT AND ADJACENT NATURAL OR ENVIRONMENTALLY SENSITIVE AREAS. NATURAL AREAS NOT DISTURBED BY DEVELOPMENT ACTIVITIES CAN REMAIN WHERE POSSIBLE THIS WILL BE DETERMINED ON A CASE-BY-CASE BASIS.

BUFFERING AND SCREENING LAND USES

RV TRAILERS SHALL NOT BE PARKED, LONG OR SHORT TERM (48 HOURS), WITHIN THE RIGHT OF WAY, DRIVEWAYS, OR ON PRIVATE PROPERTY. RV TRAILERS ARE PERMITTED IN RESIDENTIAL AREAS AS LONG AS THEY ARE PARKED WITHIN AN ENCLOSED STRUCTURE ON PRIVATE PROPERTY.

12.0 FENCE AND WALLS

ALL FENCING AND WALLS SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 2.16 FENCING AND WALLS), PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.

GENERAL PROVISIONS

B. VISUAL INTEREST

- (1) IN ORDER TO PREVENT MUNDANE EXPANSES OF FENCING IT MUST INCLUDE COLUMNS TO BE LOCATED AT THE FRONT SETBACK LINE, THE REAR CORNER LOT LINE AND APPROXIMATELY EVERY 50 FEET. COLUMNS SHOULD GENERALLY BE SPACED EQUAL DISTANCE AND LOCATED ON LOT LINES OR AT OTHER APPROPRIATE LOCATIONS. COLUMNS SHOULD NOT BE LOCATED BETWEEN LOT LINES. THIS ONLY APPLIES TO COMMUNITY FENCE, NOT TO RESIDENTIAL LOT FENCING. COMMUNITY FENCING IS LOCATED ADJACENT TO PARKS AND OPEN SPACE (REFERENCE OVERALL FENCING PLAN IN LANDSCAPE SHEETS).

C. FENCE/WALL MATERIALS

- (2) SOLID FENCES ARE NOT PERMITTED IN REAR AND SIDE YARDS. SPLIT RAIL FENCING, AS SHOWN ON SHEET 5, IS THE ONLY PERMITTED FENCE TYPE FOR THE WHEATLANDS SUBDIVISION.
(7) CHAIN LINK FENCING IS NOT PERMITTED.

SEAL

PROJECT TITLE

WHEATLANDS

Preliminary Development
Plan

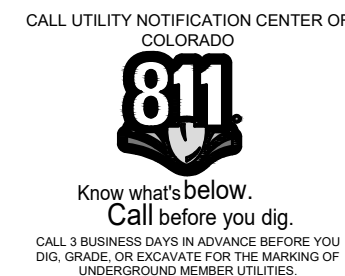
Frederick, Colorado

PREPARED FOR

WHEATLY, LLC

PO BOX 243
PARKER, CO 80134

NOT FOR CONSTRUCTION
FOR REVIEW ONLY



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DATE

April 1, 2022

SHEET TITLE

GENERAL
DEVELOPMENT
INFORMATION

SHEET INFORMATION

SHEET 4 OF 5

13.0 RESIDENTIAL ARCHITECTURE (SINGLE-FAMILY AND MULTI-FAMILY DWELLINGS)

ALL RESIDENTIAL ARCHITECTURE SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 2.17 RESIDENTIAL ARCHITECTURE), PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.

SINGLE-FAMILY DETACHED AND DUPLEX DWELLINGS

4.B.3. SIGNIFICANT VARIATION IN THE RANGE OF WALL COLORS ON A BLOCK FACE IS ENCOURAGED FOR SINGLE FAMILY DETACHED DEVELOPMENT, WHEN APPROPRIATE FOR THE ARCHITECTURAL STYLE. USE DIFFERENT COLORS ON ADJACENT BUILDING FACADES AND THE HOME ACROSS THE STREET. SINGLE FAMILY ATTACHED UNITS WILL BE PERMITTED MORE FLEXIBILITY WITH BUILDING COLORS AND ADJACENCY BUT WILL STILL BE ENCOURAGE TO PROVIDE VARIETY OF COLORS OVERALL.

4.D. ENHANCEMENTS AT CORNERS. AT CORNERS, BUILDINGS SHALL ADDRESS THE SIDE STREET OR OPEN SPACE. CORNER LOTS SHALL BE WIDE ENOUGH TO ALLOW FOR SIDE ELEVATION ENHANCEMENTS. AT LEAST TWO (2) OF THE FOLLOWING ENHANCEMENTS ARE REQUIRED
(1) A SIDE- OR WRAP-AROUND PORCH, OR A BAY WINDOW.
(2) WINDOWS OR GLAZED DOORS THAT FACE THE SIDE STREET OR OPEN SPACE.
(3) A CHANGE IN THE VERTICAL OR HORIZONTAL WALL PLANE.
(4) BRACKETS, PROJECTIONS, BELT COURSES, OR OTHER SUCH DETAILS.
(5) ADDITIONAL LANDSCAPING ELEMENTS, INCLUDING LARGE TREES, SHRUBS AND ROCK FEATURES.

4.F. MASSING. THE MASS OF A HOUSE OR DUPLEX SHOULD STRONGLY REFLECT ITS ARCHITECTURAL STYLE AND BE SCALED TO PROVIDE VISUAL INTEREST AND DEPTH. REDUCE BOXINESS, AND ACHIEVE AN ARTICULATED FORM ON FOUR (4) SIDES. EMPHASIS SHOULD BE ON THE FRONT AND REAR ELEVATIONS SINCE THEY ARE LOCATED ON THE SIDES OF THE HOUSE MOST VISIBLE, WITH SIDE ELEVATIONS, WHEN ADJACENT TO OTHER BUILDINGS, AS A SECONDARY FOCUS.

4.H. COVERED ENTRIES AND PORCHES.

(1) A COVERED ENTRYWAY FOR THE FRONT DOOR IS ENCOURAGED. COVERED ENTRIES INCLUDING PORCHES WILL BE ABLE TO ENCROACH ON THE FRONT SET BACK AN ADDITIONAL TWO (2) FEET IF DEPTH IS GREATER THAN SIX (6) FEET.

4.K. GARAGES

(3) WHEN GARAGE DOORS ARE OTHER THAN STREET-FACING (E.G., THE DOORS FACE A SIDE OR REAR LOT LINE), THE SIDE OF THE GARAGE FACING THE STREET SHALL INCLUDE WINDOWS, OR OTHER ARCHITECTURAL DETAILS THAT MIMIC THE FEATURES OF THE LIVING AREA PORTION OF THE DWELLING. IN ADDITION, SIGNIFICANT LANDSCAPING, INCLUDING LARGE TREES (IF APPROPRIATE SPACE IS AVAILABLE) IS ENCOURAGED.

SINGLE-FAMILY ATTACHED HOUSING, INCLUDING TWO TO FIVE FOUR-PLEXES AND TOWNHOMES.

5.C. EXTERIOR BUILDING MATERIALS AND COLORS.

(1) BUILDING MATERIALS FOR SINGLE-FAMILY ATTACHED DEVELOPMENTS SHOULD BE OF A HIGH QUALITY AS APPROVED BY THE TOWN. SUGGESTED EXTERIOR WALL MATERIALS INCLUDE CEMENTITIOUS SIDING (4X8 SHEETS NOT ALLOWED) METAL, STUCCO, BRICK, AND STONE. IN GENERAL, DUE TO THE IMPOSING NATURE OF MANY MULTI-DWELLING UNIT BUILDINGS, THE EXTERIOR MATERIALS SHOULD REFLECT SUBDUED COLORS AND MUTED TONES. IN GENERAL ROOF MATERIAL COLORS SHOULD BE DARKER AND WARM, EARTH-TONED HUES THAT ACCENT AND COMPLEMENT OTHER BUILDING COLORS.

14.0 LIGHTING

ALL LIGHTING SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 2.19 LIGHTING), PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.

15.0 CONDITIONAL AND PERMITTED USES BY ZONE DISTRICT

ALL CONDITIONAL AND PERMITTED USES SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 3.4 CONDITIONAL AND PERMITTED USES BY ZONE DISTRICT), PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.

TABLE 3-1 TABLE OF PERMITTED USES WITHOUT CONDITIONS

PERMITTED USES R1

- A. SINGLE FAMILY DETACHED
- B. TOWNHOMES
- C. BUILD FOR RENT SINGLE FAMILY DETACHED

16.0 DENSITY AND DIMENSIONAL STANDARDS

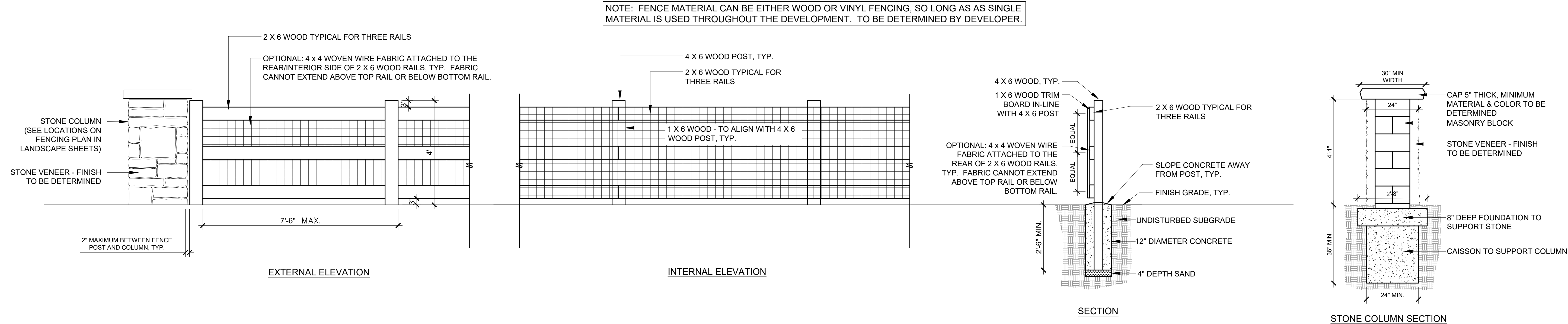
ALL DENSITY AND DIMENSIONAL STANDARDS SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 3.5 DENSITY AND DIMENSIONAL STANDARDS), PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.

PUD BULK STANDARDS			
RESIDENTIAL ZONE DISTRICT STANDARDS	SINGLE FAMILY DETACHED R-1 (PER LUC)	SINGLE FAMILY DETACHED R-1 (PUD OVERLAY)	SINGLE FAMILY ATTACHED TOWNHOMES R-1 (PUD OVERLAY)
MINIMIN LOT AREA	6250 SF	4500 SF	1400 SF
MINIMUM LOT WIDTH	50 LF	45 LF	20 LF
MINIMUM LOT FRONTAGE	40 LF	30 LF	15 LF
FRONT SETBACK - PRINCIPAL BUILDING	15 LF	PER LUC (R1)	15 LF
FRONT SETBACK - ACCESSORY BUILDING	55 LF	PER LUC (R1)	45 LF
REAR SETBACK - PRINCIPAL BUILDING	20 LF	PER LUC (R1)	20 LF 3' IF ALLEY LOAD
REAR SETBACK - ACCESSORY BUILDING	5 LF	PER LUC (R1)	5 LF
INTERIOR SIDE SETBACK	5 FT	5 FT	0 FT (CONNECTED LOTS)
STREET SIDE SETBACK	15 FT	10 FT	10 FT (UNCONNECTED LOTS)
MINIMUM FLOOR AREA PER PRINCIPAL DWELLING UNIT (SF)	850 SF	700 SF	400 SF

- NOTES:
- BULK STANDARDS SHALL BE PER THE LAND USE CODE (LUC) UNLESS OTHERWISE SPECIFIED IN THE ABOVE CHART.
 - FIVE FOOT (5) STREET SIDE SETBACKS SHALL APPLY TO ALL RESIDENTIAL STREET SIDE LOT LINES ADJACENT TO COMMON AREAS AND/OR OPEN SPACE.

17.0 SIGNS

ALL SIGNS SHALL FOLLOW THE TOWN OF FREDERICK DESIGN STANDARDS (AS WRITTEN IN SECTION 7.0 SIGNS, PER THE FREDERICK LAND USE CODE, UNLESS OTHERWISE NOTED PER THIS PDP.



A SPLIT - RAIL FENCE
SCALE 1/2" = 1'-0"

SEAL

PROJECT TITLE

WHEATLANDS

Preliminary Development
Plan

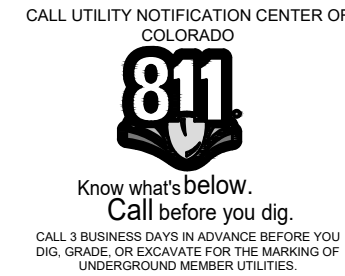
Frederick, Colorado

PREPARED FOR

WHEATLY, LLC

PO BOX 243
PARKER, CO 80134

NOT FOR CONSTRUCTION
FOR REVIEW ONLY



REVISIONS	DATE
STAFF COMMENTS	06.07.23
STAFF COMMENTS	08.15.23
STAFF COMMENTS	10.18.23
STAFF COMMENTS	04.30.24
STAFF COMMENTS	08.16.24
STAFF COMMENTS	02.24.25
STAFF COMMENTS	04.03.25

DATE

April 1, 2022

SHEET TITLE

GENERAL
DEVELOPMENT
INFORMATION &
FENCE DETAIL

SHEET INFORMATION

SHEET 5 OF 5

WHEATLANDS SUBDIVISION PRELIMINARY PLAT

SITUATE IN THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 2 NORTH, RANGE 67 WEST OF THE 6TH P.M.

TOWN OF FREDERICK, COUNTY OF WELD, STATE OF COLORADO

111 LOTS, 19 OUTLOTS/TRACTS-124.705 ACRES

CERTIFICATE OF OWNERSHIP AND DEDICATION:

Know all men by these presents that WHEATY, LLC, being the Owner(s), Mortgagee or Lienholder of certain lands in Frederick, Colorado, described as follows:

LOT B, CORRECTED RECORDED EXEMPTION NO. 1311-32-1-RE1674, ACCORDING TO THE MAP RECORDED DECEMBER 17, 1996 AT RECEPTION NO. 2525399, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 2 NORTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EXCEPT PARCELS OF LAND CONVEYED TO THE FARMERS RESERVOIRS AND IRRIGATION COMPANY BY DEEDS RECORDED JANUARY 5, 1910 IN BOOK 314 AT PAGES 285 AND 286, COUNTY OF WELD, STATE OF COLORADO.

Have laid out this Preliminary Plat of the above described land under the name and style of WHEATLANDS SUBDIVISION PRELIMINARY PLAT showing the proposed lots, blocks, tracts, streets, alleys, parks, open space and utility easements on the property.

Thus described Preliminary Plat contains 124.705 acres more or less, together with and subject to all easements and rights-of-way existing and/or of public record.

Executed this _____ day of _____, 20____.

Owner

NOTARIAL CERTIFICATE

STATE OF COLORADO)

ss

COUNTY OF WELD)

The foregoing instrument was acknowledged before me by _____ as _____ this _____ day of _____, 20____.

Witness my Hand and Official Seal.

Notary Public

My commission expires: _____.

LIENHOLDERS

By: _____ As: _____

Witness my hand and seal this _____ day of _____, 20____.

NOTARIAL CERTIFICATE

STATE OF COLORADO)

ss

COUNTY OF LARIMER)

The foregoing instrument was acknowledged before me by _____ as _____ this _____ day of _____, 20____.

Witness my Hand and Official Seal.

Notary Public

My commission expires: _____.

Planning Comission Certificate of Approval:

Approved by the Frederick Planning Commission Resolution 20____ - _____ this _____ day of _____, 20____.

Chairman

Planning Commission Secretary

SURVEYOR'S CERTIFICATE:

I, Steven Parks, a licensed Professional Land Surveyor in the State of Colorado, do hereby certify that the Preliminary Plat Map shown hereon is a correct delineation of the above described parcel of land.

I further certify that this Preliminary Plat Map and legal description were prepared under my personal supervision and in accord with applicable State of Colorado requirements on this _____ day of _____, 20____.

BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

Assuming the East line of the Northeast Quarter of Section 32, Township 2 North, Range 67 West of the 6th P.M., monumented as shown on this drawing, as bearing South 00°27'56" West, being a Grid Bearing of the Colorado State Plane, North Zone, North American Datum 1983/2011, a distance of 2637.56 feet and with all other bearings contained herein relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot".

NOTICE

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TITLE COMMITMENT NOTE

For all information regarding easements, rights-of-way and title of records, Majestic Surveying, LLC relied upon Title Commitment Number 5551-4177677, dated July 15, 2024, as prepared by First American Title Insurance Company to delineate the aforesaid information. This survey does not constitute a title search by Majestic Surveying, LLC to determine ownership or easements of record.

Owner: Wheatley, LLC
C/O John Landwehr
4436 County Road 154
Elizabeth, CO 80107

Planner: TB Group
C/O Kristin Turner
444 Mountain Avenue
Berthoud, CO 80513
970-532-5891

Engineer: Highland Development Services
C/O Jason Claeys
6355 Fairgrounds Avenue, Suite 100
Windsor, CO
970-674-7570

Surveyor: Majestic Surveying, LLC
C/O Steven Parks, PLS
1111 Diamond Valley Drive, Suite 104
Windsor, CO 80550
970-833-5698

Board of Trustees Certificate of Approval:

This Preliminary Plat Map of the WHEATLANDS SUBDIVISION PRELIMINARY PLAT is approved an accepted by Resolution No. _____, passed and adopted at the regular meeting of the Board of Trustees of Frederick, Colorado, held on _____, 20____. The approval of the Preliminary Plat shall be effective for one (1) year from the date of approval, said approval becoming null and void if a Final Plat application is not submitted to the Town within said time limit or any extension granted by the Board of Trustees. Approval of the Preliminary Plat does not result in the vesting of property rights under Title 24, Article 68, C.R.S., as amended.

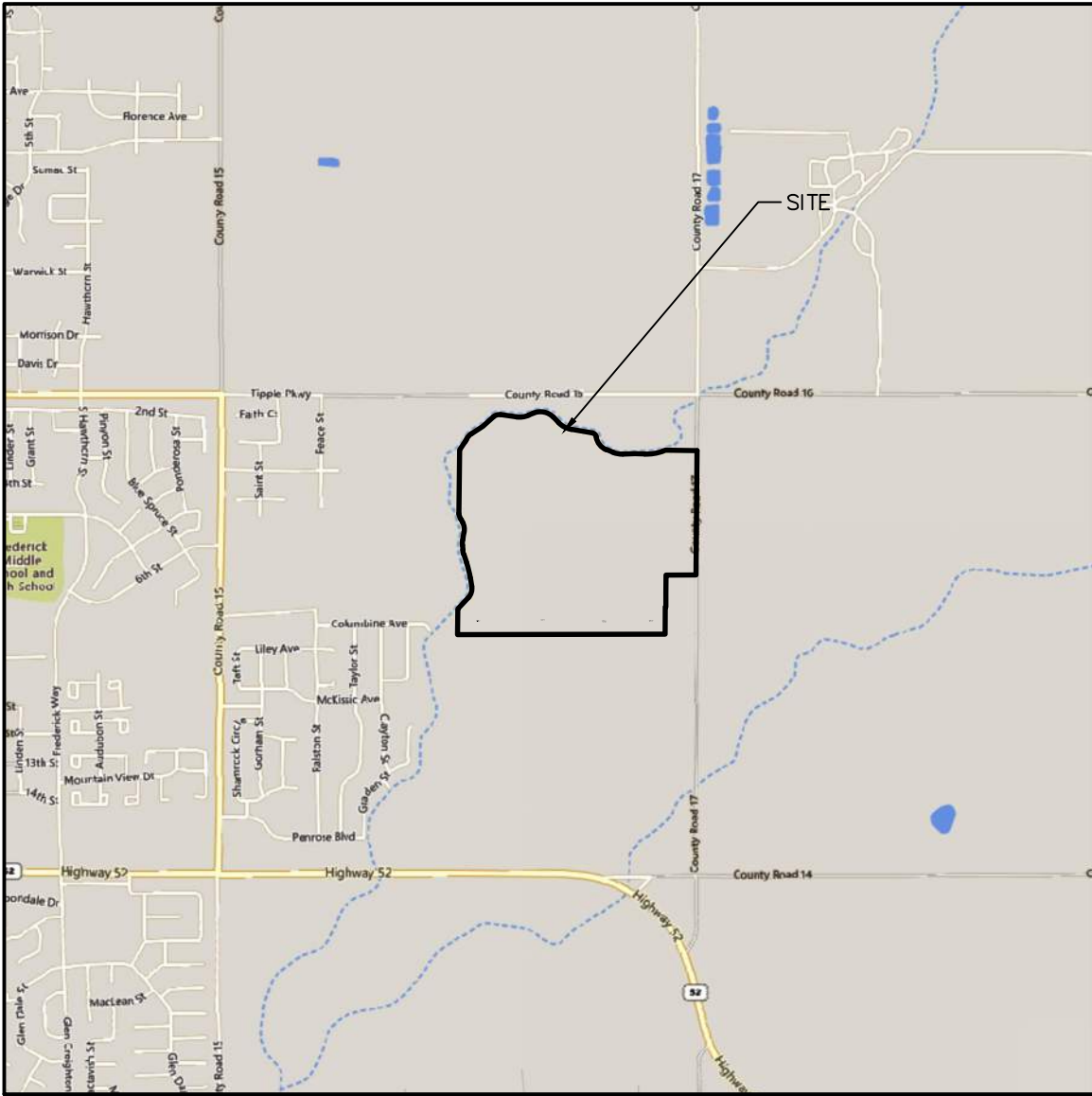
Mayor

Attest:

Town Clerk

DRIVEWAY NOTE

Minimum driveway separation is 50 feet from Right of Way.



VICINITY MAP
SCALE: 1" = 2000'

Wheatlands Subdivision Land Use Table						
Name	Description/Land Use	Area	%	Intended Fee Ownership	Maintenance Upon Completion & Acceptance	
Outlot A	Public Access, Drainage And Utility Easement	321,328 sq. ft.	7.38 acres	5.92%	HOA	HOA
Outlot B	Pocket Park, Public Access, Drainage And Utility Easement	81,896 sq. ft.	1.88 acres	1.51%	HOA	HOA
Outlot C	Pocket Park, Public Access, Drainage And Utility Easement	186,316 sq. ft.	4.28 acres	3.43%	HOA	HOA
Outlot D	Public Access, Drainage And Utility Easement	34,170 sq. ft.	0.78 acres	0.63%	HOA	HOA
Outlot E	Public Access, Drainage And Utility Easement	13,354 sq. ft.	0.31 acres	0.25%	HOA	HOA
Outlot F	Public Access, Drainage And Utility Easement	23,671 sq. ft.	0.54 acres	0.44%	HOA	HOA
Outlot G	Public Access, Drainage And Utility Easement	320,228 sq. ft.	7.35 acres	5.90%	HOA	HOA
Outlot H	Public Access, Drainage And Utility Easement	16,770 sq. ft.	0.38 acres	0.31%	HOA	HOA
Outlot I	Public Access, Drainage And Utility Easement	6,601 sq. ft.	0.15 acres	0.12%	HOA	HOA
Outlot J	Public Access, Drainage And Utility Easement	11,716 sq. ft.	0.27 acres	0.22%	HOA	HOA
Outlot K	Public Access, Drainage And Utility Easement	6,600 sq. ft.	0.15 acres	0.12%	HOA	HOA
Outlot L	Public Access, Drainage And Utility Easement	14,325 sq. ft.	0.33 acres	0.26%	HOA	HOA
Outlot M	Public Access, Drainage And Utility Easement	146,155 sq. ft.	3.36 acres	2.69%	HOA	HOA
Outlot N	Pocket Park, Public Access, Drainage And Utility Easement	187,049 sq. ft.	4.29 acres	3.44%	HOA	HOA
Tract A	Future Townhome and/or Condominium Development	138,985 sq. ft.	3.19 acres	2.56%	Private	Private
Tract B	Future Townhome and/or Condominium Development	254,498 sq. ft.	5.84 acres	4.69%	Private	Private
Tract C	Future Townhome and/or Condominium Development	166,635 sq. ft.	3.83 acres	3.07%	Private	Private
Tract D	Future Townhome and/or Condominium Development	92,057 sq. ft.	2.11 acres	1.69%	Private	Private
Lots	Residences (111)	2,114,153 sq. ft.	48.53 acres	38.92%	Private	Private
ROW	Public Right of Way	1,295,674 sq. ft.	29.74 acres	23.85%	Town of Frederick	Town of Frederick
Total		5,432,141 sq. ft.	124.70 acres			

PRELIMINARY

Steven Parks - On Behalf of Majestic Surveying, LLC
Colorado Licensed Professional Land Surveyor #38348



PROJECT NO: 2022087	PROJECT NAME: WHEATFIELD	REVISIONS:	DATE:
DATE: 4-30-2022	CLIENT: HDS	REDLINES	8-15-23
DRAWN BY: SIP	FILE NAME: 2022087SUB	REVISE LOTS	11-3-23
CHECKED BY: MAK	SCALE: 1" = 50'	REVISE LOTS	4-30-24

1

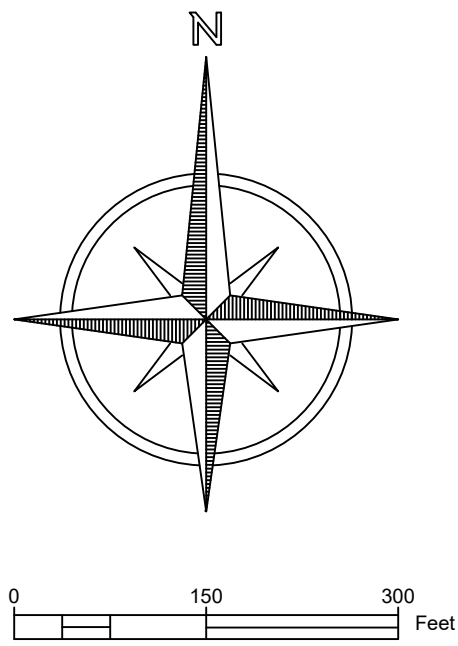
SHEET 1 OF 9

WHEATLANDS SUBDIVISION PRELIMINARY PLAT



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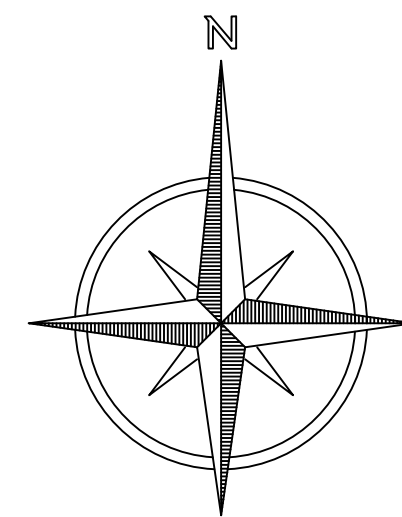
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SHEET 2 OF 9

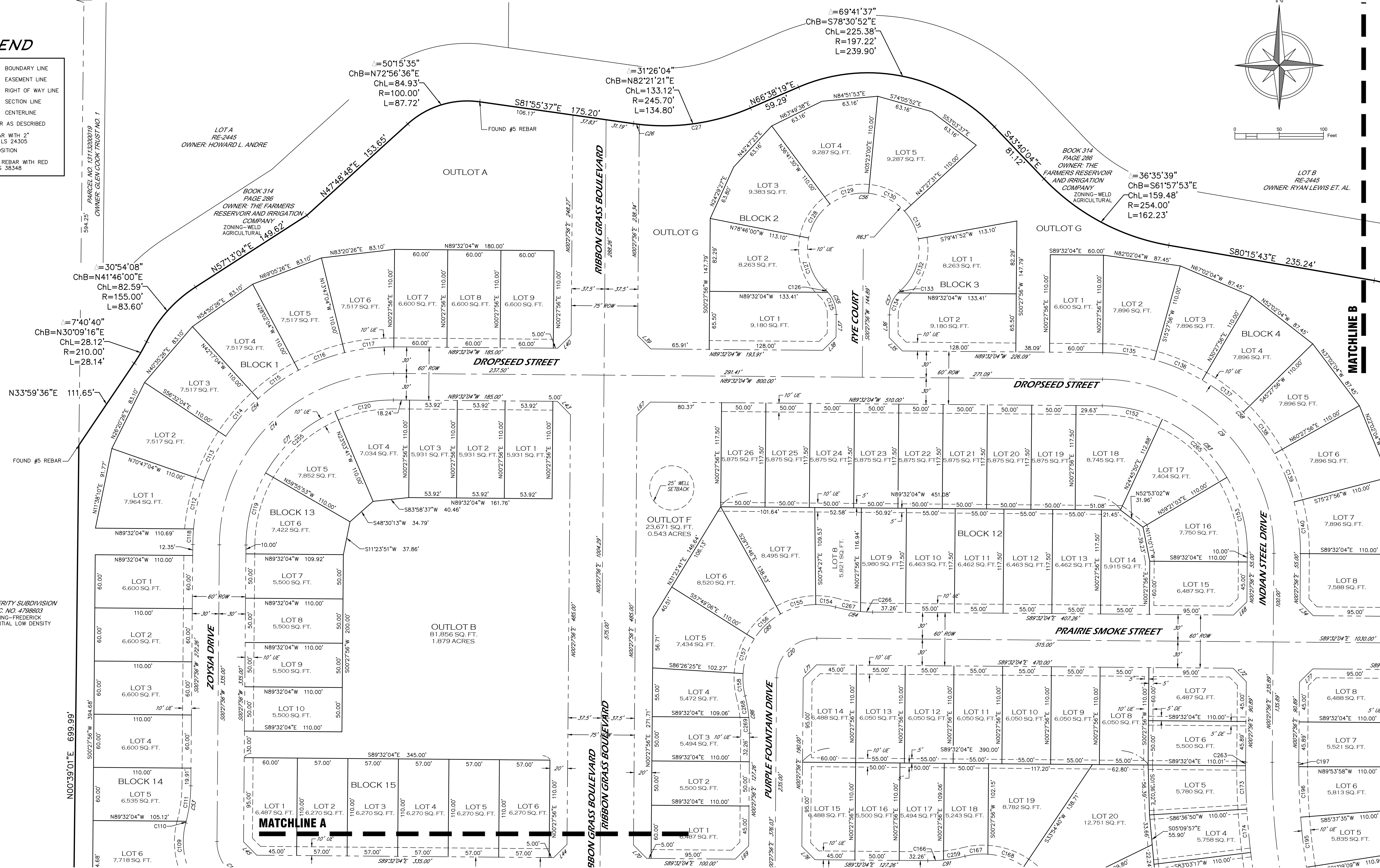
LEGEND

- _____ BOUNDARY LINE
 - - - - - EASEMENT LINE
 _____ RIGHT OF WAY LINE
 _____ SECTION LINE
 - - - - - CENTERLINE
- ALIQUOT CORNER AS DESCRIBED
 FOUND #5 REBAR WITH 2" ALUMINUM CAP LS 24305
 ○ CALCULATED POSITION
 ○ SET 24" OF #4 REBAR WITH RED PLASTIC CAP LS 38348

NORTH QUARTER CORNER
SECTION 32, T.2N., R.67W.
FOUND #6 REBAR WITH 2.5"
ALUMINUM CAP LS 24305



A number line representing distance in feet. The line starts at 0 and ends at 100, with a major tick mark at 50. The word "Feet" is written at the right end of the line. Two horizontal bars are drawn above the line: one bar spans from 0 to 25, and another bar spans from 50 to 100.



PRELIMINARY

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Colorado Licensed Professional Land Surveyor #38348

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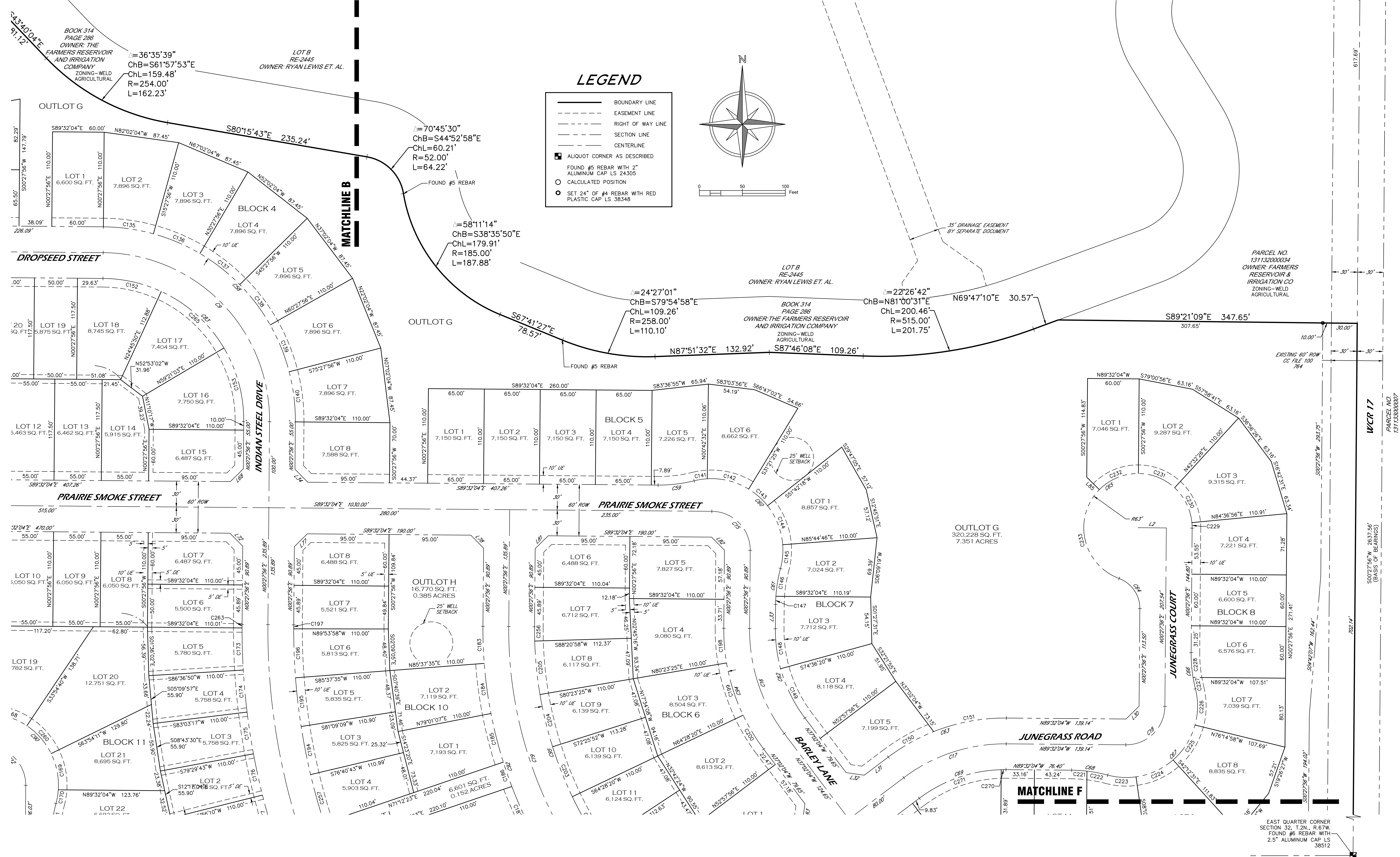
PROJECT NO: 2022087	PROJECT NAME: WHEATFIELD	REVISIONS:	DATE:	3 SHEET 3 OF
DATE: 4-30-2022	CLIENT: HDS	REDLINES	8-15-23	
		REVISE LOTS	11-3-23	
DRAWN BY: SIP	FILE NAME: 2022087SUB	REVISE LOTS	4-30-24	
CHECKED BY: MAK	SCALE: 1" = 50'			

3

SHEET 3 OF 9

WHEATLANDS SUBDIVISION PRELIMINARY PLAT

NORTHEAST CORNER
SECTION 32, T.2N., R.67W.
FOUND #6 REBAR WITH 2.5"
ALUMINUM CAP LS 31169



PRELIMINARY

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Colorado Licensed Professional Land Surveyor #38348

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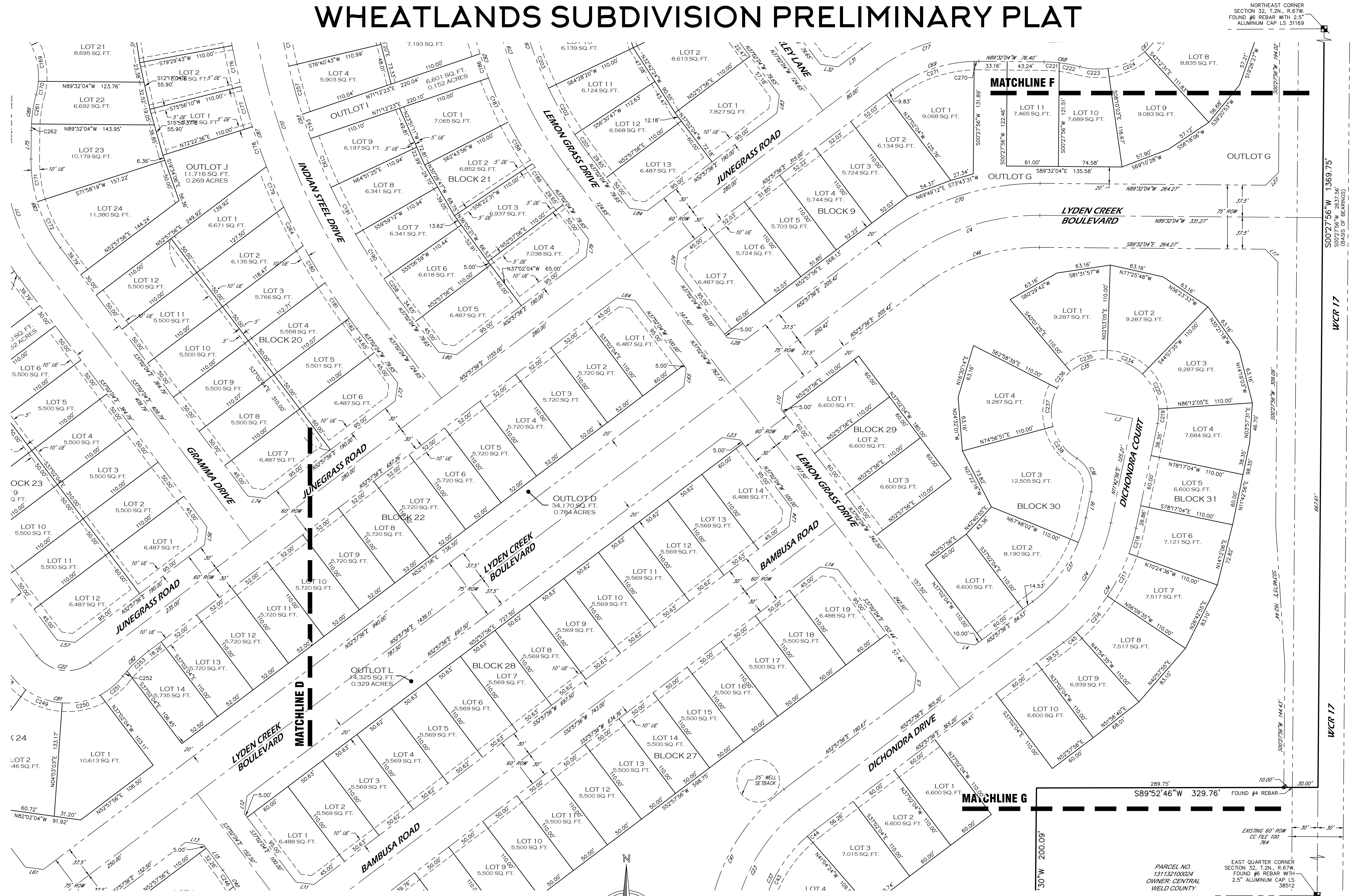


PROJECT NO: 2022087	PROJECT NAME: WHEATFIELD	REVISIONS:	DATE:
DATE: 4-30-2022	CLIENT: HDS	REDLINES	8-15-23
DRAWN BY: SIP	FILE NAME: 2022087SUB	REVISE LOTS	11-3-23
CHECKED BY: MAK	SCALE: 1" = 50'	REVISE LOTS	4-30-24

4

SHEET 4 OF 9

WHEATLANDS SUBDIVISION PRELIMINARY PLAT



PRELIMINARY

Steven Parks - On Behalf of Majestic Surveying, LLC
Colorado Licensed Professional Land Surveyor #38348

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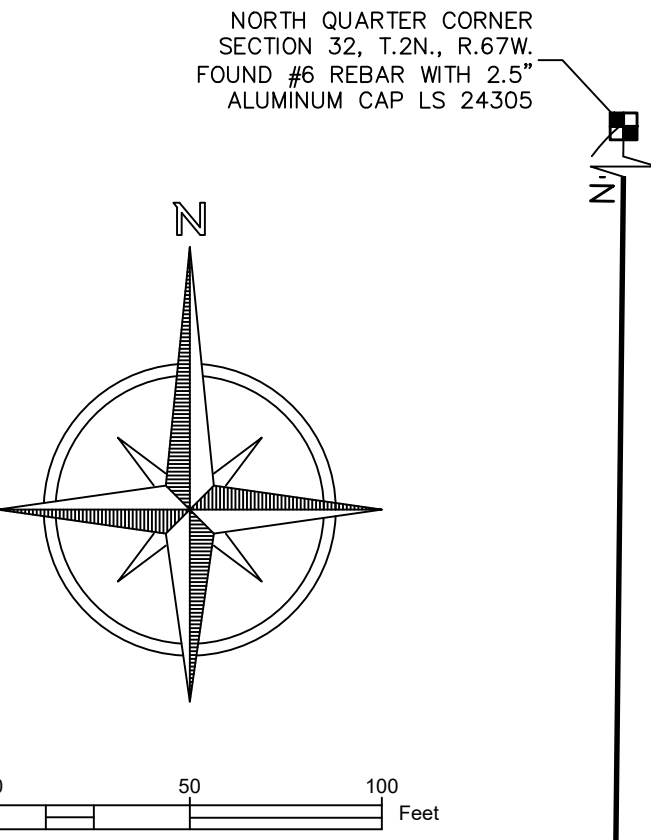


PROJECT NO: 2022087	PROJECT NAME: WHEATFIELD	REVISIONS:	DATE:
DATE: 4-30-2022	CLIENT: HDS	REDLINES	8-15-23
DRAWN BY: SIP	FILE NAME: 2022087SUB	REVISE LOTS	11-3-23
CHECKED BY: MAK	SCALE: 1" = 50'	REVISE LOTS	4-30-24

5

SHEET 5 OF 9

WHEATLANDS SUBDIVISION PRELIMINARY PLAT



NORTH QUARTER CORNER
SECTION 32, T.2N., R.67W.
FOUND #6 REBAR WITH 2.5"
ALUMINUM CAP LS 24305

PROSPERITY SUBDIVISION
REC. NO. 4798603
ZONING-FREDERICK
RESIDENTIAL LOW DENSITY

Δ=15°10'00"
ChB=N20°07'00"W
ChL=69.94'
R=265.00'
L=70.15'
N27°42'00"W 37.40'

Δ=38°31'49"
ChB=N8°26'05"W
ChL=105.58'
R=160.00'
L=107.60'
N10°49'50"E 46.05'

Δ=12°42'49"
ChB=N1°48'49"E
ChL=58.68'
R=265.00'
L=58.80'
N08°10'13"E 42.38'

Δ=13°38'36"
ChB=N11°21'54"W
ChL=51.08'
R=215.00'
L=51.20'
N04°32'36"W 50.89'

EXCEPTED PARCEL
BOOK 314
PAGE 285

Δ=8°34'49"
ChB=N13°53'48"W
ChL=172.06'
R=1150.00'
L=172.22'
N18°11'12"W 39.60'

CENTER QUARTER CORNER
SECTION 32, T.2N., R.67W.
FOUND #6 REBAR WITH
2.5" ALUMINUM CAP LS
24305

LEGEND

- BOUNDARY LINE
- EASEMENT LINE
- RIGHT OF WAY LINE
- SECTION LINE
- CENTERLINE
- ALIQUOT CORNER AS DESCRIBED
- FOUND #5 REBAR WITH 2" ALUMINUM CAP LS 24305
- CALCULATED POSITION
- SET 24" OF #4 REBAR WITH RED PLASTIC CAP LS 38348

OUTLOT A
321,328 SQ. FT.
7.377 ACRES

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MATCHLINE C

OUTLOT C
186,316 SQ. FT.
4.277 ACRES



PROJECT NO: 2022087	PROJECT NAME: WHEATFIELD	REVISIONS:	DATE:
DATE: 4-30-2022	CLIENT: HDS	REDLINES	8-15-23
DRAWN BY: SIP	FILE NAME: 2022087SUB	REVISE LOTS	11-3-23
CHECKED BY: MAK	SCALE: 1" = 50'	REVISE LOTS	4-30-24

6

SHEET 6 OF 9

PRELIMINARY

Steven Parks - On Behalf of Majestic Surveying, LLC
Colorado Licensed Professional Land Surveyor #38348

NORTH QUARTER CORNER
SECTION 32, T.2N., R.67W.
FOUND #6 REBAR WITH 2.5"
ALUMINUM CAP LS 24305



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—————	BOUNDARY LINE
- - - - -	EASEMENT LINE
—————	RIGHT OF WAY LINE
—————	SECTION LINE
- - - - -	CENTERLINE

 ALIQUOT CORNER AS DESCRIBED

FOUND #5 REBAR WITH 2" ALUMINUM CAP LS 24305

 CALCULATED POSITION

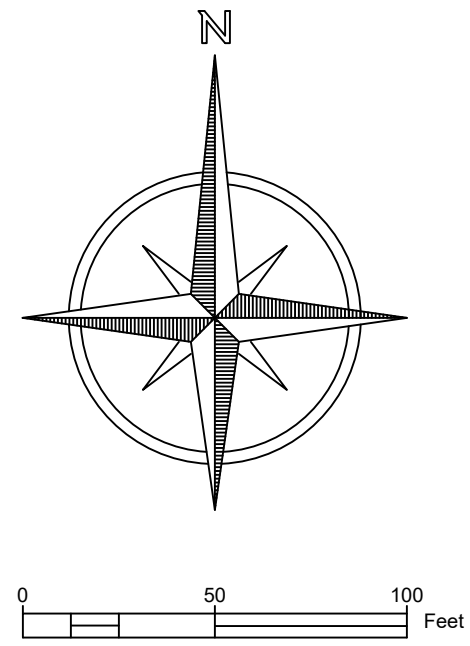
 SET 24" OF #4 REBAR WITH RED PLASTIC CAP LS 38348



MAJESTIC SURVEYING
MAJESTIC SURVEYING, LLC | 1111 DIAMOND VALLEY DRIVE #104, WINDSOR, CO 80551

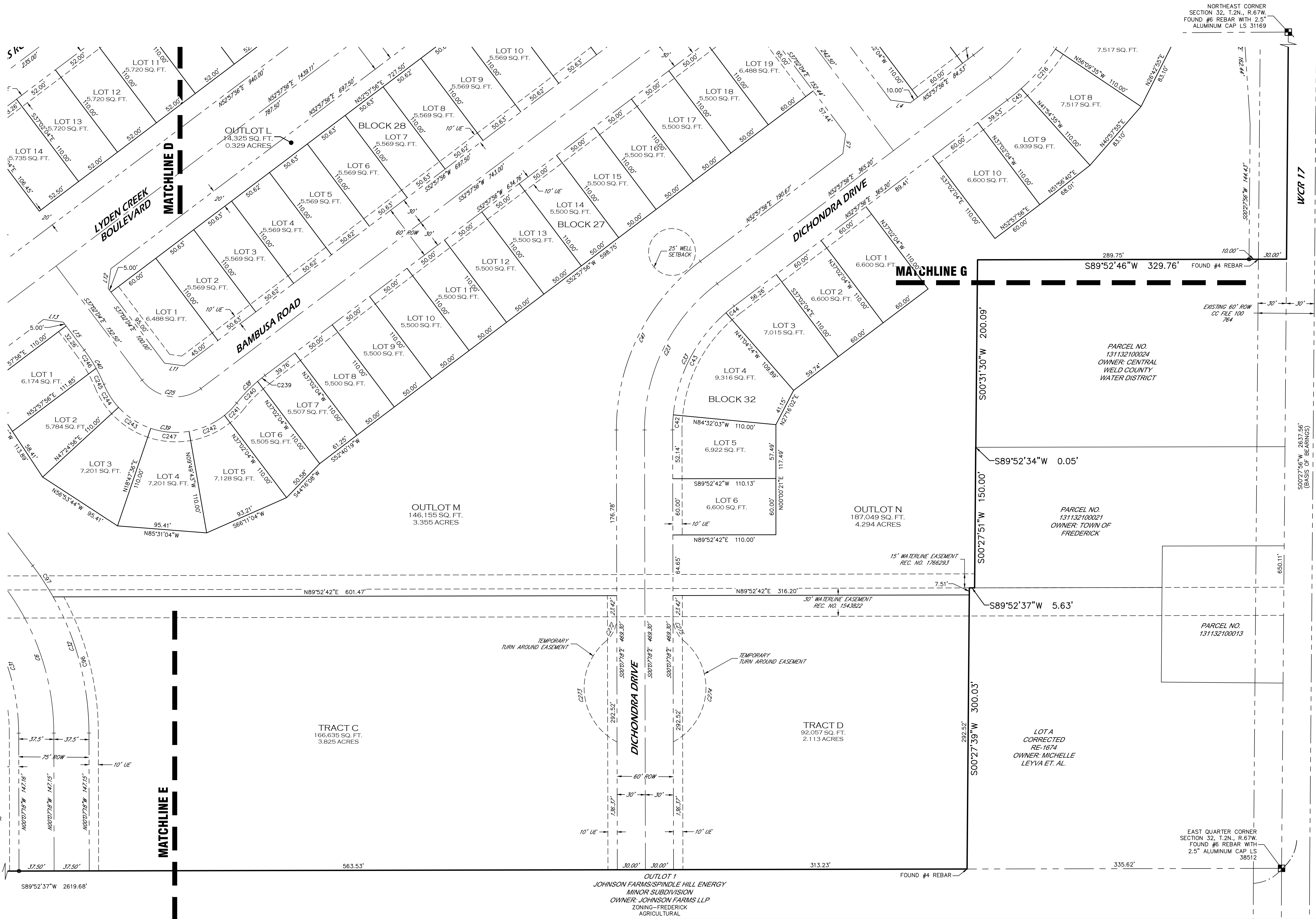
PROJECT NO: 2022087	PROJECT NAME: WHEATFIELD	REVISIONS:	DATE:	7 SHEET 7 OF 9
DATE: 4-30-2022	CLIENT: HDS	REDLINES	8-15-23	
		REVISE LOTS	11-5-23	
DRAWN BY: SIP	FILE NAME: 2022087SUB	REVISE LOTS	4-30-24	
CHECKED BY: MAK	SCALE: 1" = 50'			

WHEATLANDS SUBDIVISION PRELIMINARY PLAT



LEGEND

- BOUNDARY LINE
- EASEMENT LINE
- RIGHT OF WAY LINE
- SECTION LINE
- CENTERLINE
- ALIQUOT CORNER AS DESCRIBED
- FOUND #5 REBAR WITH 2" ALUMINUM CAP LS 24305
- CALCULATED POSITION
- SET 24" OF #4 REBAR WITH RED PLASTIC CAP LS 38348



PRELIMINARY

Steven Parks - On Behalf of Majestic Surveying, LLC
Colorado Licensed Professional Land Surveyor #38348

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MAJESTIC SURVEYING, LLC 1111 DIAMOND VALLEY DRIVE #104, WINDSOR, CO 80550

PROJECT NO: 2022087	PROJECT NAME: WHEATFIELD	REVISIONS:	DATE:
DATE: 4-30-2022	CLIENT: HDS	REDLINES	8-15-23
DRAWN BY: SIP	FILE NAME: 2022087SUB	REVISE LOTS	11-3-23
CHECKED BY: MAK	SCALE: 1" = 50'	REVISE LOTS	4-30-24

8

SHEET 8 OF 9

WHEATLANDS SUBDIVISION PRELIMINARY PLAT

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°52'55"E	34.84'
L2	S89°32'04"E	33.00'
L6	S45°07'17"E	21.21'
L7	S44°52'43"W	21.21'
L8	N82°02'04"W	21.21'
L9	N07°57'56"E	21.21'
L10	N07°57'56"E	21.21'
L14	N82°02'04"W	21.21'
L17	S44°32'04"E	21.21'
L23	N82°02'04"W	21.21'
L24	N07°57'56"E	21.21'
L27	S45°27'56"W	21.21'
L28	N82°02'04"W	21.21'
L29	S07°57'56"W	21.21'
L30	S45°27'56"W	21.21'
L31	N52°57'56"E	35.00'
L32	N82°02'04"W	21.21'
L33	N00°27'56"E	28.15'
L34	S44°32'04"E	21.21'
L35	N44°32'04"W	21.21'

LINE TABLE		
LINE	BEARING	LENGTH
L36	S00°27'56"W	25.65'
L37	S00°27'56"W	25.65'
L38	N45°27'56"E	21.21'
L39	S44°32'04"E	21.21'
L40	S45°27'56"W	21.21'
L41	N44°32'04"W	21.21'
L42	S44°52'43"W	21.21'
L43	S44°32'04"E	21.21'
L44	N45°27'56"E	21.21'
L45	N44°32'04"W	21.21'
L46	N07°57'56"E	21.21'
L47	S45°07'17"E	21.21'
L48	N45°27'56"E	21.21'
L49	S44°32'04"E	21.21'
L50	S45°27'56"W	21.21'
L51	S44°32'04"E	21.21'
L52	S07°57'56"W	21.21'
L53	S82°02'04"E	21.21'
L54	S45°27'56"W	21.21'
L55	N44°32'04"W	21.21'

LINE TABLE		
LINE	BEARING	LENGTH
L56	N07°57'56"E	21.21'
L57	N82°02'04"W	21.21'
L58	N82°02'04"W	21.21'
L61	N82°02'04"W	21.21'
L62	S07°57'56"W	21.21'
L64	N82°02'04"W	21.21'
L65	S07°57'56"W	21.21'
L67	N45°27'56"E	21.21'
L68	S45°27'56"W	21.21'
L69	N45°27'56"E	21.21'
L70	N44°32'04"W	21.21'
L71	S45°27'56"W	21.21'
L72	S44°32'04"E	21.21'
L73	N07°57'56"E	21.21'
L74	N82°02'04"W	21.21'
L75	S00°27'56"W	33.30'
L76	N44°32'04"W	21.21'
L77	S45°27'56"W	21.21'
L78	S44°32'04"E	21.21'
L79	N07°57'56"E	21.21'

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C1	12.07'	260.00'	2°39'32"	12.06'	N88°33°09"E
C2	12.05'	260.00'	2°39'19"	12.05'	S88°33°03"W
C3	167.51'	260.00'	36°54'46"	164.62'	N71°25'19"E
C4	170.17'	260.00'	37°30'00"	167.15'	S71°42'56"W
C5	443.42'	677.50'	37°30'00"	435.55'	S181°7°04"E
C6	167.50'	260.00'	36°54'46"	164.62'	N18°34'41"W
C7	49.04'	195.00'	14°24'37"	48.91'	N07°19'36"W
C8	229.03'	875.00'	14°59'50"	228.38'	S07°01'59"E
C9	306.31'	195.00'	90°00'00"	275.77'	N44°32'04"W
C10	497.42'	760.00'	37°30'00"	488.59'	S181°7°04"E
C11	130.90'	200.00'	37°30'00"	128.58'	S181°7°04"E
C12	70.69'	45.00'	90°00'00"	63.64'	N44°32'04"W
C13	70.69'	45.00'	90°00'00"	63.64'	S44°32'04"E
C14	306.31'	195.00'	90°00'00"	275.77'	S45°27'56"W
C15	70.69'	45.00'	90°00'00"	63.64'	N44°32'04"W
C16	130.90'	200.00'	37°30'00"	128.58'	S181°7°04"E
C17	127.63'	195.00'	37°30'00"	125.36'	S71°42'56"W
C18	70.69'	45.00'	90°00'00"	63.64'	N45°27'56"E
C19	314.16'	480.00'	37°30'00"	308.58'	S181°7°04"E
C20	70.69'	45.00'	90°00'00"	63.64'	S45°27'56"W
C21	314.16'	480.00'	37°30'00"	308.58'	S181°7°04"E
C22	70.69'	45.00'	90°00'00"	63.64'	S82°02'04"E
C23	180.68'	195.00'	53°05'14"	174.28'	S26°25'19"W
C24	140.39'	195.00'	41°15'00"	137.38'	N32°20'26"E
C25	70.18'	45.00'	89°21'04"	63.29'	S81°42'45"E
C26	6.63'	245.70'	1°32'44"	6.63'	S82°41'59"E
C27	128.17'	245.70'	29°53'20"	126.72'	N81°34'59"E
C28	13.81'	297.50'	2°39'32"	13.80'	N88°33°09"E
C29	10.31'	222.50'	2°39'19"	10.31'	S88°33°03"W
C30	191.66'	297.50'	36°54'46"	188.37'	N71°25'19"E
C31	143.35'	222.50'	36°54'46"	140.88'	N18°34'41"W
C32	191.66'	297.50'	36°54'46"	188.37'	N18°34'41"W
C33	152.88'	165.00'	53°05'14"	147.47'	S26°25'19"W
C34	161.99'	225.00'	41°15'00"	158.51'	N32°20'26"E
C35	275.02'	63.00'	250°07'23"	103.14'	S66°39'15"W
C36	45.31'	37.00'	70°09'40"	42.53'	N23°19'37"W
C37	118.79'	165.00'	41°15'00"	116.24'	N32°20'26"E
C38	42.36'	167.00'	14°32'01"	42.25'	S45°41'55"W
C39	172.48'	83.00'	119°04'03"	143.08'	S82°02'04"E
C40	42.36'	167.00'	14°32'01"	42.25'	N29°46°03"W
C41	208.47'	225.00'	53°05'14"	201.10'	S26°25'19"W
C42	16.09'	165.00'	5°35'15"	16.08'	S02°40'19"W
C43	125.57'	165.00'	43°36'10"	122.56'	S27°16°02"W
C44	11.22'	165.00'	3°53'49"	11.22'	S51°01'02"W
C45	19.15'	225.00'	4°52'32"	19.14'	N50°31'40"E
C46	145.63'	222.50'	37°30'00"	143.04'	S71°42'56"W
C47	10.26'	222.50'	2°38'36"	10.26'	N88°32'41"E
C48	13.79'	297.50'	2°39'19"	13.79'	S88°33°03"W
C49	41.50'	165.00'	14°24'37"	41.39'	N07°19'36"W
C50	236.89'	905.00'	14°59'50"	236.21'	S07°01'59"E
C51	42.36'	167.00'	14°32'01"	42.25'	S83°11'55"W
C52	172.48'	83.00'	119°04'03"	143.08'	S44°32'04"E
C53	42.36'	167.00'	14°32'01"	42.25'	N07°43°57"E
C54	353.43'	225.00'	90°00'00"	318.20'	S45°27'56"W
C55	30.95'	37.00'	47°55'59"	30.06'	N23°30'03"W
C56	303.33'	63.00'	275°51'57"	84.42'	N89°32'04"W
C57	30.95'	37.00'	47°55'59"	30.06'	S24°25'56"W
C58	353.43'	225.00'	90°00'00"	318.20'	N44°32'04"W
C59	42.36'	167.00'	14°32'01"	42.25'	N83°11'55"E
C60	172.48'	83.00'	119°04'03"	143.08'	N44°32'04"W
C61	42.36'	167.00'	14°32'01"	42.25'	S07°43°57"W
C62	111.26'	170.00'	37°30'00"	109.29'	S181°7°04"E
C63	147.26'	225.00'	37°30'00"	144.65'	S71°42'56"W
C64	45.28'	37.00'	70°07'23"	42.51'	N34°35'45"W
C65	275.02'	63.00'	250°07'23"	103.14'	S55°24'15"W
C66	42.36'	167.00'	14°32'01"	42.25'	S06°48°05"E
C67	172.48'	83.00'	119°04'03"	143.08'	N45°27'56"E
C68	42.36'	167.00'	14°32'01"	42.25'	N82°16°03"W
C69	107.99'	165.00'	37°30'00"	106.08'	S71°42'56"W
C70	194.71'	297.50'	37°30'00"	191.26'	S71°42'56"W
C71	259.18'	165.00'	90°00'00"	233.35'	S45°27'56"W
C72	56.59'	225.00'	14°24'37"	56.44'	N07°19'36"W
C73	221.18'	845.00'	14°59'50"	220.55'	S07°01'59"E
C74	467.97'	715.00'	37°30'00"	459.66'	S181°7°04"E
C75	143.35'	222.50'	36°54'46"	140.88'	N71°25'19"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C76	333.79'	510.00'	37°30'00"	327.87'	S181°7'04"E
C77	418.88'	640.00'	37°30'00"	411.44'	S181°7'04"E
C78	150.53'	230.00'	37°30'00"	147.86'	S181°7'04"E
C79	294.52'	450.00'	37°30'00"	289.30'	S181°7'04"E
C80	42.36'	167.00'	14°32'01"	42.25'	N29°46'03"W
C81	172.48'	83.00'	119°04'03"	143.08'	S82°02'04"E
C82	42.36'	167.00'	14°32'01"	42.25'	S45°41'55"W
C83	259.18'	165.00'	90°00'00"	233.35'	N44°32'04"W
C84	42.36'	167.00'	14°32'01"	42.25'	S82°16'03"E
C85	172.48'	83.00'	119°04'03"	143.08'	S45°27'56"W
C86	42.36'	167.00'	14°32'01"	42.25'	N06°48'05"W
C87	517.05'	790.00'	37°30'00"	507.87'	S181°7'04"E
C88	111.26'	170.00'	37°30'00"	109.29'	S181°7'04"E
C89	42.36'	167.00'	14°32'01"	42.25'	S07°43'57"W
C90	172.48'	83.00'	119°04'03"	143.08'	N44°32'04"W
C91	42.36'	167.00'	14°32'01"	42.25'	N83°11'55"E
C92	333.79'	510.00'	37°30'00"	327.87'	S181°7'04"E
C93	477.78'	730.00'	37°30'00"	469.30'	S181°7'04"E
C94	150.53'	230.00'	37°30'00"	147.86'	S181°7'04"E
C95	294.52'	450.00'	37°30'00"	289.30'	S181°7'04"E
C96	151.89'	297.50'	29°15'09"	150.25'	N14°44'53"W
C97	39.77'	297.50'	7°39'37"	39.74'	N33°12'16"W
C98	20.75'	165.00'	7°12'18"	20.74'	N03°43'27"W
C99	20.75'	165.00'	7°12'18"	20.74'	N10°55'45"W
C100	59.22'	905.00'	3°44'58"	59.21'	S12°39'25"E
C101	59.22'	905.00'	3°44'58"	59.21'	S08°54'28"E
C102	59.22'	905.00'	3°44'58"	59.21'	S05°09'30"E
C103	59.22'	905.00'	3°44'58"	59.21'	S01°24'33"E
C104	27.87'	167.00'	9°33'39"	27.83'	S85°41'07"W
C105	14.49'	167.00'	4°58'23"	14.49'	S78°25'06"W
C106	41.44'	83.00'	28°36'23"	41.01'	S89°45'54"E
C107	29.86'	83.00'	20°36'52"	29.70'	S65°09'16"E
C108	49.31'	83.00'	34°02'28"	48.59'	S37°49'36"E
C109	51.87'	83.00'	35°48'20"	51.03'	S02°54'12"E
C110	1.88'	167.00'	0°38'44"	1.88'	N14°40'36"E
C111	40.48'	167.00'	1°35'18"	40.38'	N07°24'35"E
C112	55.96'	225.00'	14°15'00"	55.82'	S12°05'26"W
C113	55.96'	225.00'	14°15'00"	55.82'	S26°20'26"W
C114	55.96'	225.00'	14°15'00"	55.82'	S40°35'26"W
C115	55.96'	225.00'	14°15'00"	55.82'	S54°50'26"W
C116	55.96'	225.00'	14°15'00"	55.82'	S69°05'26"W
C117	55.96'	225.00'	14°15'00"	55.82'	S83°20'26"W
C118	17.67'	225.00'	4°29'59"	17.67'	S02°42'56"W
C119	85.25'	165.00'	29°36'11"	84.31'	S15°16'02"W
C120	67.75'	165.00'	23°31'37"	67.28'	S78°42'07"W
C121	53.36'	845.00'	3°37'06"	53.35'	S12°43'21"E
C122	55.94'	845.00'	3°47'35"	55.93'	S09°01'01"E
C123	55.94'	845.00'	3°47'35"	55.93'	S05°13'26"E
C124	55.94'	845.00'	3°47'35"	55.93'	S01°25'51"E
C125	27.25'	37.00'	42°11'29"	26.63'	N20°37'48"W
C126	3.71'	37.00'	5°44'30"	3.71'	N44°35'47"W
C127	64.54'	63.00'	58°42'03"	61.76'	S18°07'01"E
C128	46.26'	63.00'	42°04'30"	45.23'	S32°16'15"W
C129	46.26'	63.00'	42°04'30"	45.23'	S74°20'45"W
C130	46.26'	63.00'	42°04'30"	45.23'	N63°34'44"W
C131	35.45'	63.00'	32°14'22"	34.98'	N26°25'19"W
C132	64.54'	63.00'	58°42'03"	61.76'	N19°02'53"E
C133	3.71'	37.00'	5°44'30"	3.71'	S45°31'40"W
C134	27.25'	37.00'	42°11'29"	26.63'	S21°33'41"W
C135	58.90'	225.00'	15°00'00"	58.74'	N82°02'04"W
C136	58.90'	225.00'	15°00'00"	58.74'	N67°02'04"W
C137	58.90'	225.00'	15°00'00"	58.74'	N52°02'04"W
C138	58.90'	225.00'	15°00'00"	58.74'	N37°02'04"W
C139	58.90'	225.00'	15°00'00"	58.74'	N22°02'04"W
C140	58.90'	225.00'	15°00'00"	58.74'	N07°02'04"W
C141	15.42'	83.00'	10°38'37"	15.40'	S81°15'13"W
C142	50.39'	83.00'	34°46'54"	49.62'	N76°02'02"W
C143	29.48'	83.00'	20°20'53"	29.32'	N48°28'08"W
C144	49.31'	83.00'	34°02'28"	48.59'	N21°16'28"W
C145	27.89'	83.00'	19°15'12"	27.76'	N05°22'22"E
C146	32.79'	167.00'	11°14'59"	32.74'	S09°22'28"W
C147	9.57'	167.00'	3°17'03"	9.57'	S02°06'28"W
C148	47.06'	170.00'	15°51'36"	46.91'	S07°27'52"E
C149	64.21'	170.00'	21°38'24"	63.83'	S21°22'52"E
C150	60.73'	225.00'	15°27'58"	60.55'	S60°41'55"W

TO: Town of Frederick

FROM: Kristin Turner

DATE: October 12, 2021

RE: Neighborhood Meeting Notes

1. Are there plans to make road improvements?
Yes, there will be dedication of ROW. Road improvements will be determined by TIS and reflected on the construction plans.

NOTICE OF PUBLIC HEARING
PLANNING COMMISSION
TOWN OF FREDERICK

NOTICE IS HEREBY GIVEN that the Planning Commission will hold a PUBLIC HEARING commencing on Thursday, June 26th at 6:30 pm. This meeting will be held both in person and virtually (please see <https://www.frederickco.gov/1100/Agenda-Portal> to access the published agenda and link to the meeting's live stream). No public comment can be received via the live stream. The public hearing will be held upon application made by Kristin Turner, TB Group, 44 Mountain Avenue, Berthoud, CO, 80513; for the purpose of considering the Wheatlands Preliminary Plat and Preliminary Development Plan land use applications pursuant to the Codes of the Town of Frederick and applicable State statutes.

The affected property is generally located southwest of the Weld County Road 16 and Weld County Road 17 intersection.

The legal description of the property is: "Situated in the Northeast Quarter of Section 32, Township 2 North, Range 67 West of the 6th Principal Meridian, Town of Frederick, County of Weld, State of Colorado"

Interested and affected parties are encouraged to attend. The Planning Commission will be taking written comments submitted prior to the hearing. Comments submitted prior to 5:00PM on the hearing date listed above will be forwarded with the staff report. During a public hearing, public input can be received.

Copies of the full application and supporting materials are available for the public to review. Please contact Project Planner, Audem Gonzales, at agonzales@frederickco.gov to receive instructions on how to access the materials.

Dated this 6th day of June, 2025

TOWN OF FREDERICK, COLORADO

By: _____
Tricia David, Town Clerk

Published: Longmont Times Call June 11, 2025-2118631

Prairie Mountain Media, LLC

PUBLISHER'S AFFIDAVIT

County of Boulder
State of Colorado

The undersigned, Agent, being first duly sworn under oath, states and affirms as follows:

1. He/she is the legal Advertising Reviewer of Prairie Mountain Media LLC, publisher of the *Longmont Times Call*.
2. The *Longmont Times Call* is a newspaper of general circulation that has been published continuously and without interruption for at least fifty-two weeks in Boulder County and meets the legal requisites for a legal newspaper under Colo. Rev. Stat. 24-70-103.
3. The notice that is attached hereto is a true copy, published in the *Longmont Times Call* in Boulder County on the following date(s):

Jun 11, 2025

Melissa Najera
Signature

Subscribed and sworn to me before me this
11th day of June, 2025.

Shayla Najera
Notary Public

(SEAL)

SHAYLA NAJERA
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20174031965
MY COMMISSION EXPIRES July 31, 2025

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